

# CADNANT

PLANNING

**Tan y Graig Farm, Pentraeth**  
**ENABLING DEVELOPMENT STATEMENT**  
Grŵp Amos Cymru Cyf  
April 2024  
2017.057\_03

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## Enabling Development Statement



Status of report:	Issue	V1.0	April 2024
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Document control:	CAD.02		

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# 1. Introduction

- 1.1 This Enabling Development Statement accompanies a full planning application by Grŵp Amos Cymru Cyf, for full planning permission for the erection of 25 dwellings, construction of an internal access road and pedestrian link together with associated works and landscaping on land at Tan y Graig Farm, Pentraeth.
- 1.2 The proposal would form part of an enabling development proposal linked to the restoration of Aberbrait, Llanfairpwll, which is a Grade II\* listed building also owned by Grŵp Amos Cymru Cyf.
- 1.3 As detailed in Section 2 of this Statement, significant work needs to be carried out to the existing Listed Building at Aberbrait. Although the restoration works required to bring the building back into use in an appropriate and sensitive manner now have the required LBC, those works cannot be implemented as there is a substantial “Conservation Deficit” where the cost of repair of the heritage asset exceeds its market value on completion of repair.
- 1.4 To address the Conservation Deficit and ensure that the scheme of repair of the historic asset at Aberbrait is viable, a scheme of 25 dwellings comprising of a mix of open market and local market housing is proposed on land at Tan y Graig Farm, which is also owned by the applicant. This proposal is Enabling Development which will secure listed building’s long-term future by using the uplift in value of the land resulting from that development.
- 1.5 The pre-application enquiry response received prior to the formalisation of a planning application notes that following receipt of legal advice, the principle of development is acceptable subject to an assessment against policy AT 2 of the Joint Local Development Plan which supports Enabling Development that aims to secure the preservation and/or alternative use of a listed building provided the criteria within the Policy is satisfied.
- 1.6 This Reports sets out our assessment of the proposal against Policy AT 2 and against the guidance published by CADW within Conservation Principles for the Sustainable Management of the Historic Environment in Wales (March 2011) and also the Good Practice Guide on Enabling Development and Heritage Assets produced by Historic England (June 2020) which is intended to help all those involved in enabling development proposals to work through the possible options in relation to the asset in question, and to understand whether the proposals are acceptable.

## 2. Works required to the listed building

- 2.1 The works required to be undertaken to Aberbraint benefit from Listed Building Consent (LBC) under reference LBC/2023/5 which was granted on 06/06/2023.
- 2.2 A copy of the Heritage Impact Assessment (HIA) produced by Jeff St Paul, B.A., BTP., IHBC which was submitted as part of LBC application LBC/2023/5 is appended at Appendix A along with a Statement of Significance at Appendix B. This sets out an assessment of the listed building of Aberbraint, and its importance to the heritage asset. The proposals for the restoration of the house are also examined and how these affect the heritage asset. The HIA then presents an assessment of the impact of the scheme on the heritage asset.
- 2.3 The proposals involve the full restoration of Aberbraint from its present semi derelict state to continue the use as three dwelling units within the main house. The design philosophy behind the proposals is simple and clear; to facilitate the restoration of Aberbraint, reverse the long cycle of decline, restoring or safeguarding the important features of the house as far as possible and respecting the immediate and wider setting.
- 2.4 While minimal intervention guides the restoration process, the condition of the building and the extent of decay dictate that intervention is both necessary and entirely justifiable to preserve the remaining heritage asset.
- 2.5 A document outlining in detail the proposed works is included in Appendix C; Outline of Current and Proposed Works.
- 2.6 When acquired by the applicant, the manor house of Aberbraint was found to be in very poor condition, it had been stood unoccupied for a number of years and it was evident that prior to that there had been no proactive preventative maintenance carried out and that repairs had been carried out on an ad-hoc reactionary basis.
- 2.7 The roof was in extremely poor condition, with missing or slipped roof slates and ridge tiles however more problematic were the failed valley gutters which due to the shape of the building and complexity of the roof are numerous.
- 2.8 During rainfall free running water could be observed in most locations, both ground and first floor, beneath roof valleys with the central staircase tower being particularly badly affected. Under emergency works applications repairs to the roof structure and re-slating of the roof was undertaken.

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- 2.9 To prevent continued damage from water penetration, it was necessary to replace the roof coverings entirely together with repair and reinstatement of valley gutters. The LPA were notified of these emergency repair works prior to commencement and a photographic record of the building was also carried out prior to the urgent remedial works.
- 2.10 The removal of the roof coverings exposed both wet and dry rot to roof which has spread throughout the building and wholesale treatment of all timbers will be required together with treatment of masonry to eradicate spores to prevent reoccurrence of outbreaks.
- 2.11 It is understood that previous repair/replacement of roof timbers was carried in within the 1980's to the front of the house (East Elevation) following a fire with refurbishment works carried out internally to the rear of the property (Block C) also assumed to be in the 1980's which included replacement of floors.
- 2.12 Further remedial works is known to have been carried in 2015/16 which included the removal of ceilings and repairs to rotten floor joists.
- 2.13 The three non-original original bays to the front elevation show significant signs of movement laterally away from the main structure with subsidence evident to the right hand bay.
- 2.14 It is evident that when constructed the bays were not physically tied into the existing structure, this combined with inadequate strengthening to the foundations has resulted in the rotation of the masonry to the bays away from the original structure, evident by the wide open joints between the two.
- 2.15 Previous efforts at remedially tying the structures has been carried out with the recommendations for more robust remedial action.
- 2.16 The manor house of Aberbrait is divided into three separate dwellings but without clear demarcation and the intention is to rationalise the divisions to make the separation between the three clear and distinct.
- 2.17 The existing drainage system is old with numerous points of failure and collapse, the intention is to replace the drainage pipework to feed via a sewage maceration pump into the mains sewer rather than feeding to a septic tank as previously which is no longer permitted.

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- 2.18 An inspection established the presence of asbestos and subsequently tiles to and roof sheeting to outbuildings was removed.

### 3. The sites and context

#### Fferm Tan y Graig, Pentraeth

- 3.1 The application site comprises of a rectangular parcel of land which was previously used for agricultural grazing. The site is located in a semi-rural area west of the village of Pentraeth. The site measures just under 1ha and is set back from the B5109 to the south and sits adjacent to the existing Tan Y Graig cottages to the west. To the north of the site consists of open fields, with the village of Pentraeth located less than 0.5km to the east. There is a mixture of Blackthorn and Hawthorn hedges along the site's frontage, with some scrub along the site's eastern boundary and Buddleia and Blackthorn shrubs to the west. There are some sparse Willow, Blackthorn and Hawthorn shrubs on a soil bund along the northern boundary.
- 3.2 The site lies outside the Area of Outstanding Natural Beauty (AONB) and Special Landscape Area (SLA) as defined within the adopted Joint Local Development Plan (JLDP). The site is outside the defined development boundary of Pentraeth (which is approximately 0.4km away). Figure 3.1 identifies the location of the site.

*Figure 3.1 Aerial image identifying the application site in the context of its surroundings*





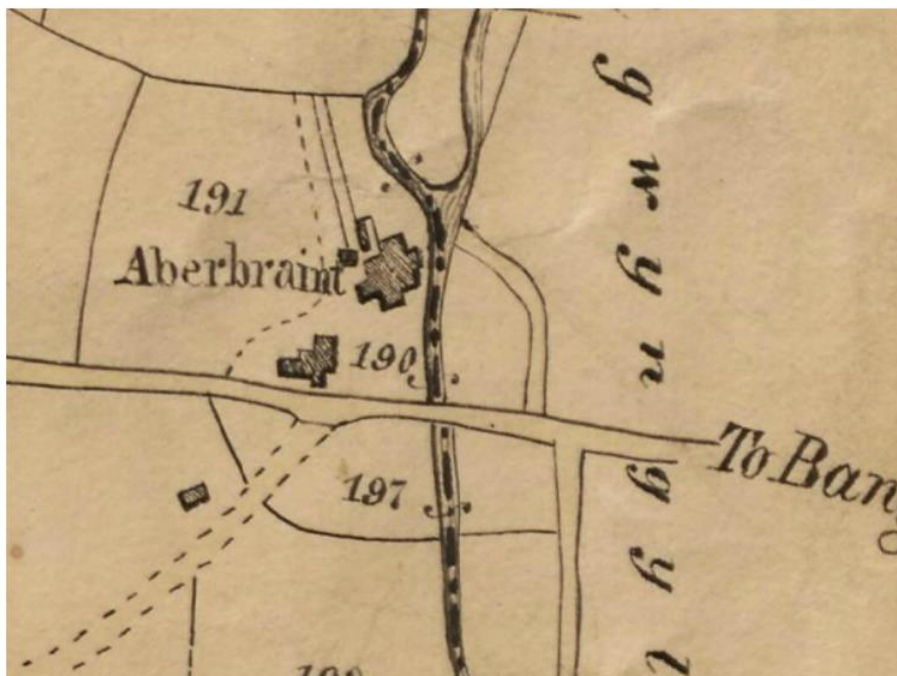
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- 3.3 The site benefits from planning permission (42C6N) for holiday accommodation in the form of 15 holiday chalets and this permission has been implemented by way of the creation of a new vehicular access approved as part of planning permission 42C6N and the laying of a road into the site.

### Aberbraint, Llanfairpwll

- 3.4 Aberbraint is located within its own grounds some half a kilometre to the west of the village of Llanfairpwllgwyngyll, set back from the north west side of the A4080. It's location on the 1844 Tithe Map is identified in Figure 3.2.

*Figure 3.2 Tithe Map 1844*



- 3.5 Aberbraint dates mainly from the early 19th century. It has been subject to several subsequent phases of alteration and extension and has been enriched by a remarkable variety of imported antique architectural details.
- 3.6 Aberbraint enjoys statutory protection as a Building of Special Architectural or Historic Interest (listed building) Grade II\*. Aberbraint is designated the higher Grade of II\*, only approximately 6% of listed buildings are recognised as this standard.
- 3.7 The house was first listed in 1952, at grade II and upgraded to II\* in 1998. The house has been in poor condition for many years and is now semi-derelict. It was inspected in 2007 when it was occupied and found to be in 'fair' condition. When it was inspected

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again 2014, although still partly occupied, its condition had suffered a 'high rate' of decline' and it was registered as 'at risk' by CADW in its 2014 survey.

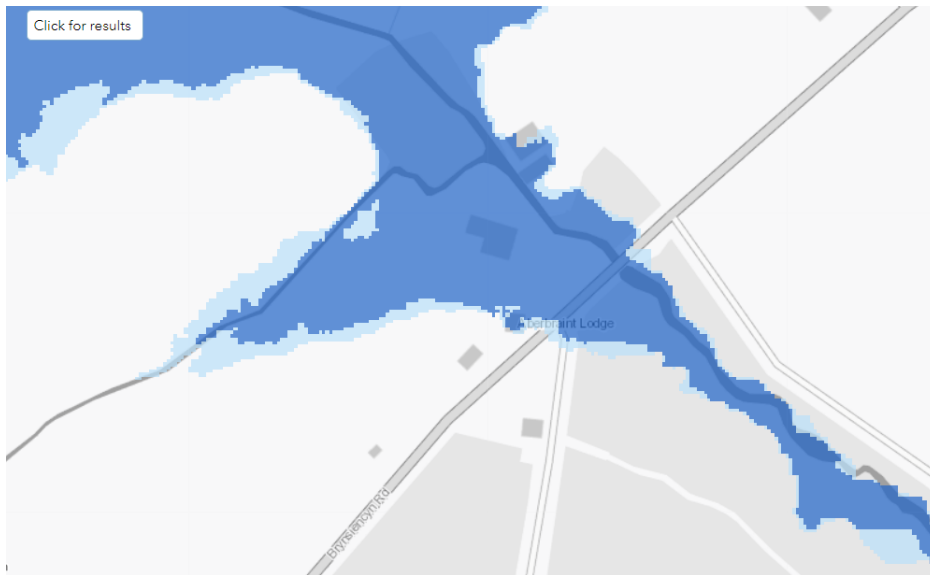
- 3.8 The non-statutory listing description gives the following reason for its inclusion in the Statutory List, description in italics.

*Listed at Grade II\* as a richly detailed early C19 house in a Gothick idiom, incorporating fine quality C17 - C18 woodwork as an integral part of the Gothick character.*

- 3.9 Aberbraint is an extremely complex house with an unusual, triple depth plan form. The front is of three gabled two storey bays, the centre one advanced with an altered porch, with single storey additions to each flank. Urgent remedial work clearly shows that the gabled projections are not original and are poorly tied into the flank walls. It has a large two storey rear range with a number of subsidiary ranges of differing heights. Aberbraint has very distinctive chimneys.
- 3.10 The building is currently little more than a shell. Decades of no or inadequate maintenance caused serious and increasing problems particularly in relation to water ingress. This was particularly evident with numerous roof problems but also in certain windows and other areas. The water ingress has led to an extensive and deep seated outbreak of both wet and dry rot which it is essential to tackle.
- 3.11 A more detailed description of the property is provided in the HIA in Appendix A.
- 3.12 These defects, and the suggested remedies, both enacted and proposed, are enumerated in detail in the Amos Group document, Outline of Current and Proposed Works at Appendix C.
- 3.13 Aberbraint lies within a Special Landscape Area (SLA) which covers the area of land to the north-west of the A4080 and the Area of Outstanding Natural Beauty lies to the south-east.
- 3.14 Aberbraint also lies within Flood Zone 3 as per the Flood Maps for Planning as identified in Figure 3.3.

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*Figure 3.3 Extract of Flood Map for Planning*



## 4. The Proposed Enabling Development

4.1 The proposed Enabling Development relates to the erection of 25 dwellings, comprising of 10 local market dwellings and 15 open market dwellings.

4.2 The proposed dwellings would comprise of the following mix:

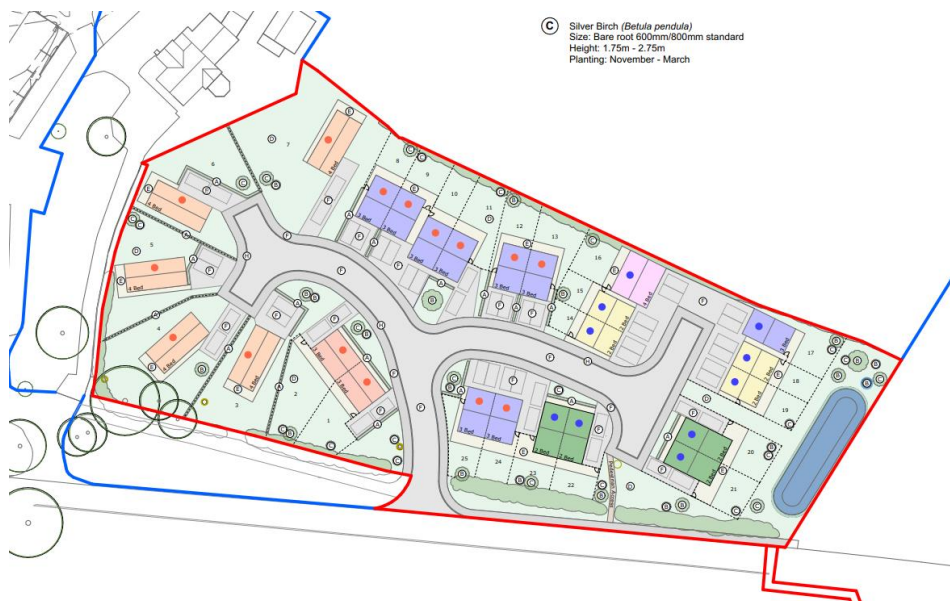
**Table 4.1 Proposed housing mix**

Type of dwelling	Name of house type	Number	Dwelling type
Open market	HT-A	9	3B5P 2 Story
Local market	HT-B	4	2B4P 2 Story
Open market	HT-C	5	4B8P 1.5 Story
Open market	HT-E	2	3B6P 1.5 Story
Local market	HT-F	1	4B 2 Story
Local market	HT-G	4	2B 1.5 Story

4.3 Each dwelling would have parking to the front/side with a small area of front/side garden with the main garden located to the rear. A patio area and garden shed would be provided within each plot.

4.4 Vehicular access to the proposed development would be gained from the B5109 to the south via an existing vehicular access, with an internal access road and pedestrian pavements within the site linking up with a new pedestrian link crossing the B5109, enabling pedestrians to walk into the village of Pentraeth. An extract of the proposed site layout plan is provided in Figure 4.1.

**Figure 4.1 Extract of proposed site layout plan**



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- 4.5 The layout of the site comprises of an access road centrally into the site from the B5109 which would then split to provide access to the western and eastern part of the site. Open market dwellings are proposed to be located to the west of the site, with local market housing to be generally to be provided to the east. A surface water drainage basin would be located along the eastern site boundary.
- 4.6 The proposed dwellings would comprise of a mixture of semi-detached and detached properties comprising of a mix of unit sizes and types including two-storey houses and dormer bungalows. The materials proposed would comprise of a mix of render and cladding with natural slated roofs, which would be in-keeping with and would complement the design and appearance of other properties nearby.
- 4.7 At present, there is a mixture of Blackthorn and Hawthorn hedges along the site's frontage, with some scrub along the site's eastern boundary and Buddleia and Blackthorn shrubs to the west. There are some sparse Willow, Blackthorn and Hawthorn shrubs on a soil bund along the northern boundary. These are proposed to be retained with additional landscape planting proposed by way of native hedging between plots 1 to 7 and some native hedging to be planted within the scheme to the front of other dwellings.
- 4.8 Tree planting by way of Silver Birch and Mountain Ash are proposed to be planted scattered around the site as soft landscaping along with grassed gardens and open areas around the site including around the drainage basin and the pedestrian link from the site onto the B5109.
- 4.9 Timber fencing is proposed as a boundary treatment between residential gardens.

## 5. Policy context

5.1 National and local planning policy guidance considered relevant to the principle of this Enabling Development is set out in this section.

### National planning policy and guidance

5.2 The proposal relates to the restoration of an existing Grade II\* listed dwellings at Aberbraint and the erection of 25 open market and local market dwellings on land as Tan y Graig as Enabling Development to ensure that the works to the listed building of Aberbraint are viable. With this in mind relevant national planning policy is set out in:

- Future Wales: the National Plan 2040 (2021) and
- Planning Policy Wales (PPW) Edition 12, (2024).

5.3 Planning Policy Wales defines Enabling Development as *“development which can deliver substantial heritage benefit but would usually be contrary to other objectives of national or local planning policy”*.

5.4 It goes on to say that *“Enabling development may be appropriate if the public benefit of rescuing, enhancing, or even endowing an important historic asset decisively outweighs the harm to other material interests. It must always be in proportion to the public benefit it offers.”*

5.5 PPW advises that when considering a scheme of enabling development, planning permission should be granted only where all of the following can be applied:

- *where the impact of the development was precisely defined in the application at the outset, and normally through the granting of full, rather than outline, planning permission;*
- *where the achievement of the heritage objective is securely and enforceably linked to the enabling development;*
- *where the place concerned is repaired to an agreed standard, or the funds to do so are made available, as early as possible in the course of the enabling development, ideally at the outset and certainly before completion or occupation of the enabling development;*
- *where the planning authority closely monitors implementation, if necessary acting promptly to ensure that obligations are fulfilled; and*

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- *the enabling development does not give rise to significant risks, for example residential development in the floodplain or significantly impact on air quality or soundscape.*

5.6 Planning Policy Wales is supplemented by guidance contained in Technical Advice Note 24: The Historic Environment and best practice guidance on the historic environment published by Cadw.

## Technical Advice Note 24 The Historic Environment, (2017)

5.7 The purpose of TAN 24 is to provide guidance on how the planning system considers the historic environment during development plan preparation and decision making on planning applications that impact on the historic environment. It provides specific guidance on how the various aspects of the historic environment should be considered during this process.

5.8 There is also key guidance on Enabling Development set out in:

- Conservation Principles for the Sustainable Management of the Historic Environment in Wales (March 2011) and also this document clarifies that Cadw is endorsing English Heritage's Enabling Development and the Conservation of Significant Places advice, which at the time of publication of the CADW report was dated 2008. Since then the English Heritage guidance has been updated to:
- Enabling Development and Heritage Assets Historic Environment Good Practice Advice in Planning Note 4 (Historic England 2020).

## Conservation Principles for the Sustainable Management of the Historic Environment in Wales, (2011)

5.9 Paragraph 49 of the above guidance defines Enabling Development as development that would secure the future of an important historic asset, but contravene other planning policy objectives. The same guidance is now carried over into Planning Policy Wales edition 12 (February 2024) at paragraphs 6.1.30 to 6.1.32.

5.10 The policy clarifies that such development will be unacceptable unless:

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- it will not materially harm the heritage values of the historic asset or its setting; and
  - it avoids detrimental fragmentation of management of the historic asset; and
  - it will secure the long-term future of the historic asset and, where applicable, its continued use for a sympathetic purpose; and
  - it is necessary to resolve problems arising from the inherent needs of the historic asset, rather than the circumstances of the present owner, or the purchase price paid; and
  - sufficient subsidy is not available from any other source; and
  - it is demonstrated that the amount of enabling development is the minimum necessary to secure the future of the historic asset, and that its form minimizes harm to other public interests; and
  - the public benefit of securing the future of the historic asset through such enabling development decisively outweighs the disbenefits of breaching other public policies.
- 5.11 The guidance further notes that Enabling Development is development that would deliver substantial heritage benefits, but which would be contrary to other objectives of national, regional or local planning policy. It is an established planning principle that such development may be appropriate if the public benefit of rescuing, enhancing, or even endowing an important historic asset decisively outweighs the harm to other material interests. Enabling development must always be in proportion to the public benefit it offers.
- 5.12 If it is decided by a local authority that a scheme of Enabling Development meets all the criteria set out in paragraph 49 of the guidance, planning permission should be granted only if:
- the impact of the development is precisely defined at the outset, normally through the granting of full, rather than outline, planning permission;
  - the achievement of the heritage objective is securely and enforceably linked to the enabling development;
  - the place concerned is repaired to an agreed standard, or the funds to do so made available, as early as possible in the course of the enabling development, ideally at the outset and certainly before completion or occupation; and
  - the planning authority closely monitors implementation, if necessary acting promptly to ensure that obligations are fulfilled.



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5.13 In this case, to provide certainty of deliverability, LBC has already been granted for the works to the Grade II\* Listed Building at Aberbrait. Any future permission for the proposed Enabling Development at Tan y Graig Farm could be linked through a legal agreement with the LBC for Aberbrait, allowing the control and certainty required under the CADW guidance and Planning Policy Wales.

## Local planning policy and guidance

5.14 The adopted development plan consists of the Gwynedd and Anglesey Joint Local Development Plan (JLDP) 2011-2026, which was adopted on 31<sup>st</sup> July 2017.

5.15 The main policy within the JLDP which relates to Enabling Development mirrors the national planning policy and the CADW guidance.

5.16 Policy AT 2 'Enabling Development' supports development that aims to secure the preservation and/or alternative use of a listed building provided the criteria within the Policy is satisfied. These are:

- It will not materially harm the heritage values of the heritage asset or its setting;
- It avoids detrimental fragmentation of management of the historic asset;
- It will secure the long-term future of the heritage asset and, where applicable, it's continued use for a sympathetic purpose;
- It is necessary to resolve problems arising from inherent needs of the heritage asset, rather than the circumstance of the present owner or the purchase price paid;
- Sufficient subsidy is not available from any other source;
- It is demonstrated that the amount of enabling development proposed is the minimum necessary to secure the future of the heritage asset, and that it causes minimal harm to other public interests;
- The public benefit of securing the future of the heritage asset through such enabling development decisively outweigh the benefits of breaching other public policies.

5.17 The national and local policy context is therefore clear, but to assess whether a form of Enabling Development which is otherwise contrary to national and local planning policy can be supported, the proposal should be assessed against the further guidance set out in the English Heritage guidance referred to as "endorsed" within the CADW guidance.

5.18 The guidance notes that a typical example of Enabling Development may be a proposal for houses near a listed building that would not normally be given planning permission

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(for example because it would be in breach of countryside policies), but where the listed building's long-term future can only be secured by using the uplift in value of the land resulting from that development. Some Enabling Development might result in an adverse impact on the asset even though if possible it should be sited so as to avoid doing so. Well-designed Enabling Development will minimise potential adverse effects.

- 5.19 The case for Enabling Development rests on there being a Conservation Deficit. This is the amount by which the cost of repair (and conversion to optimum viable use if appropriate) of a heritage asset, exceeds its market value on completion of repair or conversion, allowing for appropriate development costs.

## 6. Enabling Development Assessment

6.1 The main steps in relation to assessing this Enabling Development are as follows:

### Stage 1:

- preliminary assessment;
- market testing; and
- desk-based viability assessment.

### Stage 2:

- condition survey;
- assessment of alternative solutions;
- cost assessment;
- market value and Conservation Deficit;
- preferred option;
- development appraisal; and
- delivery plan.

6.2 These steps are discussed in turn below.

### Stage 1:

#### Preliminary assessment and market testing

6.3 A preliminary assessment as to whether the future of the heritage asset may be secured by alternative uses, through sale to another owner, other ownership arrangements, such as a charitable trust, or through funds available from other sources has been carried out by the previous owner prior to acquisition.

6.4 Aberbraint previously formed part of The Lord Marquess' Estate. When disposing of the property, the Estate approached a number of developers who had suitable experience and expertise in the renovation of historic and listed buildings, especially ones which require extensive and significant extent of conservation restoration works.

6.5 Due to the advanced state of deterioration and extent of renovation and restoration work required, it had become clear that the number of interest parties willing to acquire and fund the required works to secure then renovate the asset were very limited.

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- 6.6 The applicant which forms part of the wider Amos Group previously acquired a group of listed outbuildings not far from Aberbraint at Llwyn Onn, Llanedwen, a Grade II listed farm building complex on the Plas Newydd Estate. These were also previously owned by The Lord Marquess' Estate. Given the applicant as part of the wider Amos Group's experience and track record of delivering a complex scheme of conversion of a complex of farm buildings at Llwyn Onn, as well as their extensive experience of delivering and sensitively restoring listed and historical buildings and properties across the UK, the applicant was selected by vendor of Aberbraint as the preferred developers. This led to the successful purchase of Aberbraint by the applicant in July 2019.
- 6.7 From the above, it is considered that enabling development is considered to be genuinely necessary and therefore the next step is to undertake a desk-based viability assessment.

## Desk-based Viability Assessment

- 6.8 Prior to acquisition, the applicant undertook an initial assessment of the level of the Conservation Deficit, which at that time identified a deficit of nearly £1,000,000. Since then these figures have been refined and updated to reflect increased construction and material costs.

## Stage 2:

- 6.9 Following the Stage 1 assessments summarised above, further detailed assessment of the works and potential enabling development required to secure the heritage asset were undertaken, each stage of which is summarised below.

## Condition Survey

- 6.10 A full photographic, condition and structural survey of the building has been completed. Due to the condition of the property, urgent remedial works needed to be undertaken which were completed by the applicant in discussions with the Local Planning Authority. Prior to these works being undertaken, a photographic record of the building was undertaken and this is presented in Appendix D.
- 6.11 The Outline of Current & Proposed Works presented in Appendix C sets out the detailed works required to be undertaken to the manor house and this also includes input from a structural engineer.

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- 6.12 The Heritage Impact Assessment Report (Jeff St. Paul) also details the extent of work which is urgently required to safeguard the heritage asset.

### Assessment of Alternative Solutions

- 6.13 The proposals involve the full restoration of Aberbrait from its present semi derelict state to continue to use as three dwelling units within the main house. This is considered to be the most appropriate proposal which would not seek to change its use. The works involved are considered to be the minimal required without the need to extend and alter the property. The proposal is considered to be the most appropriate use for Aberbrait. The works required has been approved as part of an LBC.
- 6.14 The extent of damage; decay and structural deterioration evident in the property make it clear that only through significant works and restoration can the heritage asset be secured. Alternatives, such as temporary works or basic works to make the property safe; wind and watertight in this case would not be sufficient to secure the heritage asset for the future as, without a viable use, the building would continue to deteriorate.
- 6.15 The HIA also notes that the design philosophy behind the proposals is simple and clear. To facilitate the restoration of Aberbrait, reverse the long cycle of decline, restoring or safeguarding the important features of the house as far as possible and respecting the immediate and wider setting. While minimal intervention guides the restoration process, the condition of the building and the extent of decay dictate that intervention is both necessary and entirely justifiable to preserve the remaining heritage asset.
- 6.16 Alternatives such as public or charitable ownership or grant funding have been exhausted over years prior to the acquisition by the applicant.
- 6.17 It is clear that after years of deterioration, marketing and attempts to secure improvements we can now conclude that full renovation and restoration to the original use is still the most appropriate one for Aberbrait.

### Cost assessment

- 6.18 Guidance in enabling development notes that a schedule of repair costs must start from a sound understanding of the condition of the asset and a clear and justifiable standard of conservation repair and maintenance. An expert report will be needed on the scale and cost of the repairs and, where relevant, the cost of future maintenance. In this case, the applicant and the broader Amos Group have extensive experience of the

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renovation, conversion and development of sensitive listed buildings and other heritage sites. This is evidenced by the works on buildings at Lleiniog (including curtilage listed buildings) and also at Llwyn Onn, Llanedwen, a Grade II listed farm building complex on the Plas Newydd Estate.

- 6.19 A detailed schedule of work has been completed for Aberbraint and, based on that, a detailed cost assessment completed and recently updated by the Amos Group and Christopher Bywater FRICS of First City Property Consultancy Ltd. A full copy of the Development Report is appended as Appendix E to this Statement.

## Market Value and Conservation Deficit

- 6.20 Based on the detailed schedule of works and the cost assessment, a market value for the three restored properties at Aberbraint has been obtained, totalling £1,975,000.
- 6.21 The financial appraisal sets out construction costs of £1,179,106 and an acquisition cost of £515,000 for the property when it was bought back in July 2019. It includes finance fees at 12% and a low level of developer's return of 10%. Based on these costs the Conservation Deficit is calculated as a loss of £1,007,241.
- 6.22 There is therefore a significant Conservation Deficit for the restoration proposals, hence the justification for a form of enabling development.
- 6.23 Consideration has also been given to any profit deriving from the extensive refurbishment and extension of Aberbraint Lodge, which remains within the ownership of Amos Group. The works to refurbish and extend the Lodge resulted in a loss of circa £58,000 and therefore the Lodge is not able to make a contribution towards addressing the conservation deficit of the main house at Aberbraint.

## Preferred Option

- 6.24 Given that a need for enabling development is established due to the extent of the Conservation Deficit, the most appropriate type of enabling development must be considered having regard to the need to minimise harm to the heritage asset. In this case, it is preferable to site the enabling development away from the heritage asset in order to avoid or minimise harm to it or its setting. Guidance on enabling development suggests that although the enabling development does not necessarily need to be confined to the asset itself, located immediately adjacent or within the same curtilage,

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it may need to be reasonably nearby, and within the same ownership, for practical and planning reasons.

- 6.25 The heritage asset is sensitive to change given its significance and therefore the applicant acknowledged at an early stage that employing suitably experienced professionals to inform proposals was important. A full condition survey, detailed schedule of works and a Heritage Impact Assessment have all informed the proposals and, as a consequence the works for the restoration of the heritage asset at Aberbrait has already received LBC. The HIA has informed the proposed conservation work.
- 6.26 In this case, the applicant considered the potential for enabling development to be located on land within their control at Aberbrait, but in a location that would not detrimentally affect the setting of the heritage asset of Aberbrait. However, as noted earlier in this report, the land around Aberbrait lies within a Zone 3 Flood risk area, which would not support the development of highly vulnerable development such as residential including holiday use, which would provide the highest value development to meet the conservation deficit identified for Aberbrait.
- 6.27 Given that there is no opportunity to propose enabling development at the site at Aberbrait, the applicant looked into using other sites within their ownership, which includes Tan y Graig Farm at Pentraeth, which was acquired in 2021. The purchase comprised of the original farmhouse, five terraced holiday cottages and a parcel of land to the south which benefits from extant planning permission for 15 holiday chalets.
- 6.28 The existing buildings at Tan y Graig are to be retained in their existing use and therefore there is no opportunity to seek any enabling development, however the applicant considered that there could be the opportunity to reconsider development potential on the site that benefits from planning permission for 15 chalets, to look at a more valuable scheme that could be pursued that could address the conservation deficit associated with Aberbrait, whilst also seeking to contribute towards meeting the housing need locally.
- 6.29 Whilst the site lies in an open countryside, located outside the development boundary of Pentraeth, it is located within a sustainable and accessible location, within walking distance from Pentraeth.
- 6.30 Whilst residential development at Tan y Graig would otherwise be contrary to adopted national and local planning policy, enabling development is defined as development that would secure the future of an important historic asset, but contravene other

## Enabling Development Statement

planning policy objectives. The principle of delivering a scheme of enabling development on a separate site around 5km away from Aberbraint, has been discussed with the LPA, which was considered acceptable, subject to demonstrating compliance with policy AT2 of the JLDP.

- 6.31 In terms of considering a development scheme at Tan y Graig Farm, the applicant has considered a scheme comprising of all dwellings as affordable dwellings (which wasn't considered to be viable), all dwellings as local market housing (which wasn't considered viable, and a local estate agent confirmed that there wasn't demand for 25 local market housing in Pentraeth) and finally a scheme of a mix of open market and local market dwellings, which is the preferred enabling development based on viability.
- 6.32 The scheme to develop residential dwellings at Tan y Graig Farm could not have been included within the same application for the restoration of Aberbraint, as that scheme did not require planning permission (only LBC). However, it is considered that the planning application for the development at Tan y Graig Farm could be linked through a legal agreement with the LBC approved for the restoration works to Aberbraint.

## Development Appraisal

- 6.33 In order to calculate the amount of enabling development that might be needed, development appraisals have been carried out looking at the costs of renovation and restoration and end market value of the heritage asset and development appraisal of the proposed enabling development which consists of the erection of 25 dwellings comprising of 10 local market dwellings and 15 open market dwellings.
- 6.34 The first appraisal has established that there is a Conservation Deficit, and the second is to demonstrate the minimum amount of enabling development needed to meet the identified deficit.
- 6.35 Development appraisals are a snapshot in time, have a limited shelf life and are prone to inaccuracy as they depend upon the numerous inputs and assumptions. It is therefore good practice to use present day end values and costs and not project these into the future as this can only lead to less confidence in the figures that are generated.
- 6.36 In this case, an initial development appraisal was undertaken in August 2021 but has now been updated to provide certainty at the time of the submission of the planning application for the development at Tan y Graig Farm.



## Enabling Development Statement

- 6.37 The completed scheme valuation has been assessed in accordance with the latest edition of the RICS Professional Standards (the “Red Book”), by Christopher Bywater FRICS and Dafydd Hardy Estate Agents who have the relevant experience of the type of property and knowledge of the particular location and qualified for the purpose of the valuation. The development appraisal and market valuation of the proposed new dwellings at Tan y Graig, Pentraeth is provided in Appendix E.
- 6.38 The development appraisal includes the build costs for the new dwellings based on March 2024 prices and the applicant’s direct experience of build costs on Anglesey. The valuation of the completed dwellings at Tan y Graig Farm from Dafydd Hardy values the development at £6,800,000. Deducting build costs including fees and finance this leaves a profit of £2,024,347.55 which would equate to a developer’s profit of 29.8%. This would be sufficient to address and fund the conservation deficit at Aberbraint, which would be £1,007,241. Following funding this conservation deficit at Aberbraint from the developer’s profit, this would reduce the developer’s profit at Tan y Graig to 15%, which is considered a reasonable developer’s profit.

## Delivery Plan

- 6.39 The timescales for works to Aberbraint are subject to obtaining the necessary planning permission for the development at Tan y Graig Farm. Development would then be expected to commence and take around a 12 month period to build, with a 12 months sales period, commencing 6 months after the start of construction. bat mitigation license and the end of the maternity season. Following the discharge of relevant planning and LBC conditions, the applicant intends to start works as soon as practicably possible.
- 6.40 Risk of non-completion of the conservation works can be mitigated once a defined block of conservation work has been done. The sequence will begin with repairs to the structure and external envelope, with subsequent work scheduled to follow in tandem with the erection of the new dwellings at Tan y Graig Farm.
- 6.41 A condition could be imposed on the planning consent ensuring that a proportion of the new dwellings at Tan y Graig cannot be occupied until the approved works to repair and make good the fabric and internals of Aberbraint have been completed. This will secure the required key works to the heritage asset.
- 6.42 In terms of longer term management, the purpose of enabling development is not just to repair the heritage asset, but also to secure its future, as far as reasonably possible.

## **Enabling Development Statement**

Once repaired, proper and regular maintenance should ensure no further enabling development will be required. In this case, the three dwellings within the listed building are small enough for their upkeep to be in the direct interest of the owner. An obligation to maintain via a section 106 agreement is therefore not seen to be necessary in this case.

## 7. The planning balance

- 7.1 To meet the policy requirement set out in Planning Policy Wales and in local planning policy AT 2 'Enabling Development' of the Joint Local Development Plan, an enabling development proposal can only be considered for approval if it provides benefits that outweigh the disbenefits, and where the decision-maker is confident that the scheme would secure the conservation of the heritage asset.
- 7.2 In this case, this involves assessing the position now and considering the asset's future. The complete solution, in this case involves the erection of 25 local market and open market dwellings, on a site that is around 5km away from Aberbraint, but is within the applicant's ownership and is in a location which has been accepted as a sustainable location for other development in the form of holiday accommodation. This solution deals with the conservation of the totality of the heritage asset. In such cases it is good practice to take the decision on the planning balance of the conflict with planning policy arising from the erection of a mix of local market and market dwellings in the light of a realistic view of the consequences of refusal.
- 7.3 The consequences of refusal in this case, where the heritage asset has been damaged significantly, and deteriorated over decades to the point where the building has been listed on Cadw's buildings "at risk" register 10 years ago, are that the continued deterioration cannot be reversed even with urgent and temporary remedial work.
- 7.4 A proven Conservation Deficit has been shown in detailed appraisals accompanying this application which show that the benefits of conserving the heritage asset outweigh the disbenefits of failing to comply with other planning policies. The Conservation Deficit can be addressed through a scheme of renovation and restoration of the existing heritage asset with the erection of 25 new local market and open market dwellings as per the proposals on the current planning application.
- 7.5 It is therefore considered that the proposal is appropriate in planning terms.

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**APPENDIX A**

Heritage Impact Statement

# **Heritage Impact Statement**

**Regarding**

**The Impact on the Heritage Asset of Proposed Works at  
Aberbraint, Llanfairpwllgwyngyll,**

**Ynys Mon**



**Report by**

**Jeff St Paul, B.A., BTP., IHBC**

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## **1.0 Introduction**

- 1.1 Jeff St. Paul was instructed by Grŵp Amos Cymru in May 2022 to advise on heritage matters and to prepare a Heritage Impact Statement as part of a submission to Cyngor Sir Ynys Mon for Listed Building Consent and Planning Permission regarding a scheme for the proposed restoration of Aberbraint to continue its use as three dwelling units, Aberbraint 1, 2, and 3. The works will include the addition of new porch along with landscaping works including repairs to existing and new boundary treatment and associated works.
- 1.2 This Heritage Impact Statement forms part of those applications, submitted by Grŵp Amos Cymru, and should be read in conjunction with all the submitted information, in particular the Plans and Elevations from Lime Architecture and the Amos Group document, Outline of Current and Proposed Works, which includes as Appendix D, a Report on Wet and Dry Rot by Kimberly Gulf.
- 1.3 As Aberbraint is a statutory listed Building, legislation requires that a Heritage Impact Statement is prepared to ascertain the impact of the proposals on the heritage asset.
- 1.4 This Statement involves an examination of the listed building of Aberbraint, and its importance to the heritage asset. The proposals for the restoration of the house will be examined and how these affect the heritage asset. This will then be used to reach an assessment of the impact of the scheme on the heritage asset.
- 1.5 The primary legislation is the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended, and the Ancient Monuments and Archaeological Areas Act 1979, as amended. The legislative background to Heritage Impact Statements is outlined within The Historic Environment (Wales) Act 2016, the Welsh Government Planning Policy Wales Technical Advice Note 24, The Historic Environment May 2017, and The Planning (Listed Buildings and Conservation Areas) (Wales) (Amendment no 2) Regulations 2017. These give the context where a Heritage Impact Statement will be a statutory requirement including development affecting Scheduled Ancient Monuments, Listed Buildings and where Conservation Area Consent is needed. Guidance is also provided in the Welsh Government publication, 'Setting of Historic Assets in Wales', 2017. In the local context, of particular importance is Policy PS 20 'Preserving and Where Appropriate Enhancing Heritage Assets', Anglesey and Gwynedd Joint Development Plan 2017.
- 1.6 National guidance on such matters indicates that the level of information provided in a Heritage Impact Statement should be proportionate to the significance of the heritage asset and to the potential impact of the proposals on that asset.



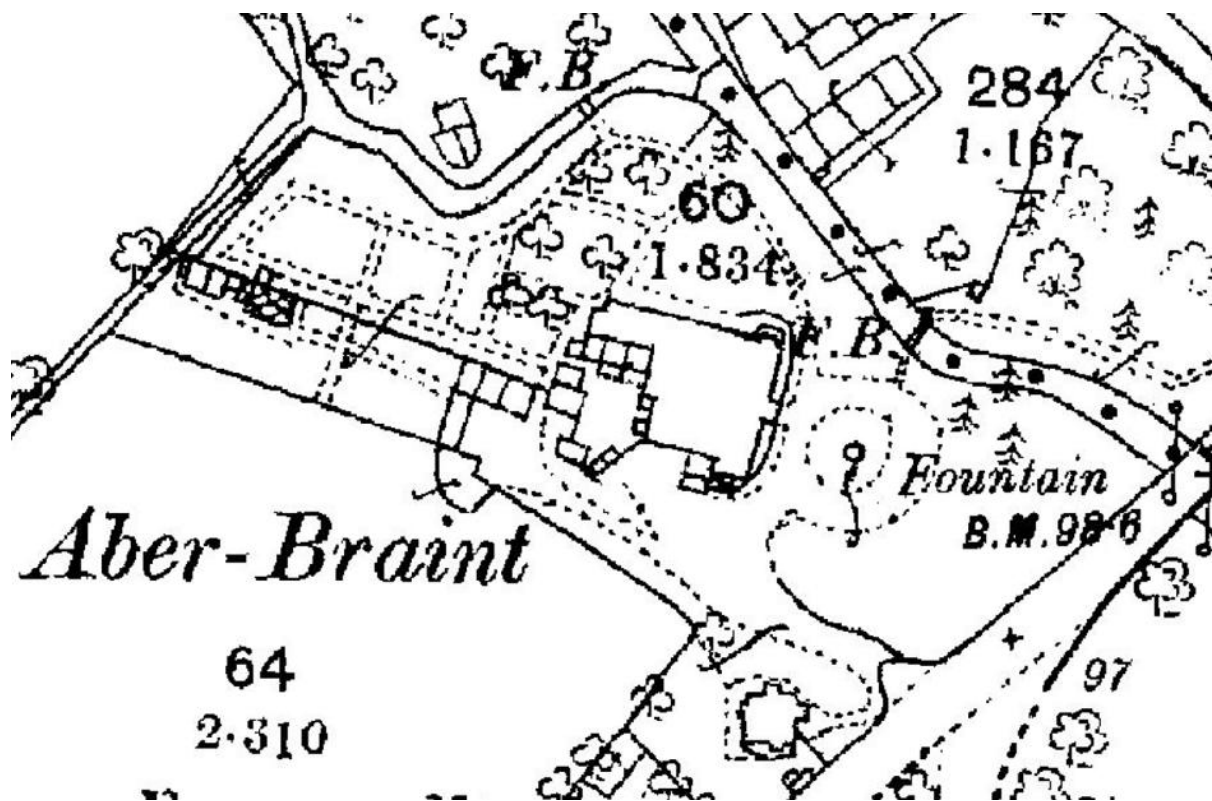
## 2.0 Background, Historical Context, and the Site

- 2.1 Aberbrait is located within its own grounds some half a kilometre to the west of the village of Llanfairpwllgwyngyll, set back from the north west side of the A4080.



Tithe Map 1844

- 2.2 The house is essentially early 19<sup>th</sup> century with later changes and incorporating much earlier material. The house is discussed further in 3.1 below.
- 2.3 Although very close to the important Plas Newydd Estate the house does not seem to have been built as part of the Estate although it certainly had links. It appears to have been built around 1820 for John Sanderson or Saunerson, Estate Manager for Plas Newydd and was almost certainly an extensive re-modelling of an earlier house. Sanderson purchased the land from a Rev. Henry Newsome. Sanderson was an avid collector of antiquarian artefacts and something of an architectural magpie and this played a large part in his development of the house.



Ordnance Survey 1889

- 2.5 After Sanderson's death, Sanderson's Executors sold Aberbraint to the Plas Newydd Estate. It is not known when it passed out of the ownership of the Plas Newydd Estate but it was purchased by the applicants from private ownership in 2019.
- 2.6 Through the later 19<sup>th</sup> century and into the 20<sup>th</sup> century, Aberbraint was let to a number of persons and was subdivided into three units, probably pre 1939.  
Undated plans exist for this subdivision drawn by Roland T Jones who is known to have worked for the Plas Newydd Estate in the 1920s and 1930s.  
No post 1947 records of Planning Permission exist for this work and the house remained as three units with increasing dereliction until its sale.
- 2.7 The Building was placed on the At Risk Register in 2014.

### **3.0 The Heritage Asset**

The principal component of the heritage asset is the house of Aberbraint itself. It is a statutory listed building of some importance, which, though unfortunately has been until recently neglected and in a poor condition, is at the forefront of consideration of the proposals. The house is considered further below.

The setting of Aberbraint is also a consideration. Although it stands on its own, it is located in an important area of Anglesey with a number of listed buildings fairly close nearby and the important park of Plas Newydd to the south. Amongst the nearby listed buildings is the former gatehouse to Aberbraint. This building was purchased by the applicants and restored with all the necessary consents.

#### **3.1 Aberbraint - Description, Statutory Designations and the Heritage Asset**

3.1.1 Aberbraint enjoys statutory protection as a Building of Special Architectural or Historic Interest (listed building) Grade II\*. It is listed under Section 1 of the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended.

The Grade II\* designation ensures that the building cannot be altered in any way which affects its character, internally or externally, without Listed Building consent. Aberbraint is designated the higher Grade of II\*, only approximately 6% of listed buildings are recognised as this standard

The Cadw reference for the record of Aberbraint is: Anglesey/ Llanfairpwllgwyngyll/ 5430.

It was first added to the list in February 1952 and amended in April 1998. The non-statutory listing description gives the following reason for its inclusion in the Statutory List, description in italics.

*Listed at Grade II\* as a richly detailed early C19 house in a Gothick idiom, incorporating fine quality C17 - C18 woodwork as an integral part of the Gothick character.*

Aberbraint is an extremely complex house with an unusual, triple depth plan form. Some of the complexity comes from the use of reclaimed and re-set materials such as the 18<sup>th</sup> century main staircase and 17<sup>th</sup> and 18<sup>th</sup> century timberwork. There are also two re-set, probably late mediaeval misericords in the porch, possibly recovered from Bangor Cathedral during its refurbishment in the early to mid 19<sup>th</sup> century.

The front is of three gabled two storey bays, the centre one advanced with an altered porch, with single storey additions to each flank. Urgent

remedial work clearly shows that the gabled projections are not original and are poorly tied into the flank walls. It has a large two storey rear range with a number of subsidiary ranges of differing heights. Aberbraint has very distinctive chimneys.



One of two misericords re-set in Porch



Decorative spandrel with Human head corbel, ground floor



Post Card Image c.1912 showing elaborate Porch demolished c. 1970

## **3.2 Assessing the Heritage Asset**

In the publication, 'Conservation Principles for the sustainable management of the Historic Environment in Wales', March 2011, Cadw set out the principles behind conservation philosophy which guides their decision making in managing change in the historic environment. The Cadw guidance acknowledges the foundation provided by an earlier English Heritage publication, 'Conservation Principles, Policy and Guidance,' 2008.

Both publications give detailed guidance on the assessment of the built heritage and propose four categories into which they might be grouped. These are assessed below in relation to Aberbraint and its setting. For the purpose of assessing the heritage asset the House is taken as the principal asset with the setting taken into account. The sections in italics which follow each heading are taken directly from the Cadw publication.

### **3.2.1 Evidential Value**

*Evidential value ... Those elements of an historic asset that can provide evidence about past human activity.*

Although in a poor condition, Aberbraint exhibits moderate to high evidential value. Although primarily of the early 19<sup>th</sup> century, the myriad of antiquarian and architectural fittings added to the house by Sanderson are both fascinating and important. Restoration and beneficial occupation is urgently required to preserve the evidential value of the property.

### **3.2.2 Historical Value**

*An historic asset might illustrate a particular aspect of past life or it might be associated with a notable family, person, event or movement.*

Aberbraint illustrates moderate to high Historical Value as an example of both a complex 19<sup>th</sup> Century house and the re-setting of interesting artefacts. The association with John Sanderson and the Plas Newydd Estate is also of importance.

### **3.2.3 Aesthetic Value**

*Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place.*

Aberbraint and its setting illustrate moderate aesthetic value strongly enhanced by their location within the Llanfairpwllgwyngyll area. The use of

the 'Gothick' idiom remains an interesting, if not particularly typical, example of its type.

### 3.2.4 Communal Value

*This derives from the meanings that an historic asset has for the people who relate to it, or for whom it figures in their collective experience or memory. It is closely linked to historical and aesthetic values but tends to have additional or specific aspects. Communal value might be commemorative or symbolic.*

Aside from its clear value as a statutory listed building, Aberbraint derives value from its history within the community of Llanfair PG and its association with the Plas Newydd Estate. Although the Community at large may not be aware of its full significance in terms of architectural development and history, its interest and importance to the Communal Value is undoubted and of moderate to high value.

### 3.2.5 Summary

In terms of the guidance offered by Cadw, Aberbraint offers strong contributions to the heritage asset through all of the four categories of Evidential Value, Historical Value, Communal Value, and Aesthetic Value. It is perhaps invidious to highlight any category but the Evidential and Historical elements are particularly strong.

## 4 The Proposals and the Impact on the Heritage Asset

### 4.1 The Objective

The applicant's aim is to continue the use of Aberbraint as a dwelling house divided into three units, Aberbraint 1, 2, and 3, retaining and restoring as much of the character and features of the building as possible following a design philosophy outlined in 4.3.2 below.

The three unit restoration is a continuation of the established use as discussed in 2.6 above.

### 4.2 Current Condition of the Building

- 4.2.1 The building is currently little more than a shell. Decades of no or inadequate maintenance caused serious and increasing problems particularly in relation to water ingress. This was particularly evident with numerous roof problems but also in certain windows and other areas. The water ingress has led to an extensive and deep seated outbreak of both wet and dry rot which it is essential to tackle.

4.2.2 These defects, and the suggested remedies, both enacted and proposed, are enumerated in detail in the Amos Group document, Outline of Current and Proposed Works.

### 4.3 Proposed Development

4.3.1 The current proposals involve the full restoration of Aberbraint from its present semi derelict state to continue the use as three dwelling units within the main house.

4.3.2 The design philosophy behind the proposals is simple and clear. To facilitate the restoration of Aberbraint, reverse the long cycle of decline, restoring or safeguarding the important features of the house as far as possible and respecting the immediate and wider setting. While minimal intervention guides the restoration process, the condition of the building and the extent of decay dictate that intervention is both necessary and entirely justifiable to preserve the remaining heritage asset.



Proposed Principal, South East, Elevation with Restored porch

4.3.3 The Amos Group document referred to above, gives a very detailed, room by room, report of the problems and the works proposed, breaking down the proposals into different sections of the house.

The report details those emergency works already carried out which have been vital in halting progression of the decline of Aberbraint. These were particularly necessary with regard to the roof where a full re-roofing was carried out. Cyngor Sir Ynys Mon was informed of the need for these works.

It is not intended to repeat the detail of all the works contained within the Amos report.



- 4.3.4 Externally, one of the important proposals is the restoration of the elaborate external porch to the central bay of the front elevation. It appears that consent was given for the demolition in 1970 under the requirements of the then relatively new Town and Country Planning Act 1968. The porch was suffering from advanced decay. Historic Photographs provide the framework for a detailed restoration.
- The restoration of the porch will provide additional protection from the elements to the important features of the inner porch in particular the frieze and misericords.
- Care will be taken to safeguard these important features during construction of the outer porch.
- 4.3.5 The restoration will include full refurbishment of the windows to existing pattern.
- 4.3.6 Internally, the dry and wet rot, which is a significant threat to the building, will be eradicated. Historic fabric will be retained or restored wherever possible. The continua of the three unit use will require relatively minor alterations to openings and closures as detailed on the plans and in the Report.

#### **4.4 Impact of the Proposed Development on the Heritage Asset**

- 4.4.1 The impact on Aberbraint itself will be very positive. The house will be rescued from its present semi derelict state. The external elevations will be largely unaltered save that appropriate windows to known patterns will be re inserted.
- One exception will be the restoration of the elaborate porch to the centre gable. The porch was removed c. 1970 due to decay and although at the time not regarded as of particular importance its restoration will return an important feature of one of the later phases of the house's development. The restored porch will also protect the frieze and misericords which are important features of the inner porch and at present somewhat open to the elements.
- 4.4.2 Internally, the proposals are focussed on reversing past mistakes, safeguarding features where possible, and restoring the house to a liveable, workable, three unit dwelling.
- 4.4.4 The extreme problems caused by the roof defects and the subsequent rampant wet and particularly dry rot necessitate extensive works but every effort has been made to safeguard, replace, or restore important features to safeguard against any adverse impact on the heritage value of Aberbraint.

## **4.5 Impact on Views and the Setting of the Heritage Assets**

4.5.1 With regard to the setting of Aberbraint any impact of the proposals will be quite limited but very positive.

4.5.2 The proposed restoration of Aberbraint will reverse the semi derelict present state of the building and retain or re-instate important external features which gave character, value, and significance to the structure with its attendant positive impact on the setting.

The principal impact will be that an important listed building will be fully restored back to a habitable three unit dwelling in an appropriate manner with a hugely positive impact on the building and its setting.

4.5.3 The proposed external landscaping works will have a very positive impact on the setting of Aberbraint. The wall on the western boundary reflects the historical boundary wall position and is more sympathetic than the previous post and wire fence. Likewise proposals to reinstate some of the more formal garden features, such as the circular driveway around the water feature in the front garden are very positive to the setting of the house.

4.5.4 The Welsh Government Document, 'Setting of Historic Assets in Wales, 2017.' Sets out how proposals should be considered in relation to possible impact on heritage assets and the four stages outline in section 4 of that document have been considered and are detailed below, Welsh Government publication text in italics.

***Stage 1: Identify the historic assets that might be affected by a proposed change or development***

The principal historic asset affected by the proposal is the listed building of Aberbraint and its setting.

***Stage 2: Define and analyse the settings to understand how they contribute to the significance of the historic assets and, in particular, the ways in which the assets are understood, appreciated and experienced***

The importance of the heritage asset is clear and has been detailed.

***Stage 3: Evaluate the potential impact of a proposed change or development on that significance.***

The proposed restoration of Aberbraint will, through its rescue from increasing dereliction, have a hugely positive impact on the listed building and its significance, including its setting

***Stage 4: If necessary, consider options to mitigate or improve the potential impact of a proposed change on that significance.***

The impact on the significance of the heritage assets is wholly positive. This is achieved firstly by the restoration of the principal building and secondly by the quality of design and by the choice of materials.

## **4.6 Summary**

4.6.1 The proposals have a very positive impact on the heritage asset and as such are compatible with the Asset. This follows the guidance regarding new work as detailed in section 28 of Cadw's 'Conservation Principles for the sustainable management of the Historic Environment in Wales', March 2011.

4.6.2 *The five points detailed in section 14 of that report are stated and are addressed below, Cadw's words in italics:*

*New work or alteration to a significant place will normally only be acceptable if:*

*a. The Need for the work is fully justified*

New work is very limited but is justified in terms of restoring the existing dwellings at Aberbraint, and reversing the damage done by long, slow decline into dereliction.

*b. And there is sufficient information comprehensively to understand the impacts of the proposal on the significance of the place;*

The impact of the proposed restoration upon Aberbraint and its setting is positive and can be easily judged. The proposals are intended only to restore the building and continue an appropriate use, thus securing a sustainable future whilst respecting the importance of Aberbraint and its setting.

*c. The proposal would not materially harm the values of that asset which, where appropriate, would be reinforced or further revealed;*

It is contended that the proposals have a hugely positive effect on the value of the heritage asset by the rescue and restoration of an important listed building to its previous use and thus will strengthen the asset greatly. This is particularly true of the interior where the eradication of extensive dry rot will secure the building and its many interesting features.

*d. The quality of the design and execution must add value to the existing asset*

Following the design philosophy, the design choices and materials used are of high quality and are compatible with the building. Intervention is limited and justified. Original features will be safeguarded and original elements of the three unit layout and design reintroduced. The proposals are a skilful and well executed response to the condition of the building at present and the need for restoration, and will greatly add to the value of the existing asset.

*e. The long term consequences of the proposals can, from experience, be demonstrated to be benign, largely reversible or be designed not to prejudice alternative solutions in the future;*

The current proposals could not be easily reversed but that is an important part of the sensitive restoration. In their totality, the proposals for the restoration of Aberbraint are very positive in their impact on the heritage asset.

## **5.0 Conclusions**

- The principal heritage asset is the Grade II\* listed house of Aberbraint, which, together with its setting, comprises an important heritage asset. It is important that any development respects this.
- The proposed development involves the restoration of Aberbraint to a three unit dwelling house, a layout which has operated for many decades and was never discontinued.
- The proposals are of a scale, design, layout, and materials which are appropriate for Aberbraint and its locality and therefore compatible with the heritage asset. The house and its important features are restored or retained.
- The principal impact will be on Aberbraint itself which will be brought back into a beneficial, appropriate, and sustainable use in an appropriate manner.
- The proposals have a limited but hugely positive impact on the general area and setting of the house.

- The quality of the heritage asset has been assessed and the impact of the proposals on the heritage asset considered. The conclusion of this is that the proposals are wholly positive, compatible with and complementary to both the building and the wider area and have a very positive impact on the character of Aberbrait, its setting, and the surrounding area.

## **APPENDIX B**

### Statement of Significance

**ABERBRAINT  
LLANFAIRPWLLGWYNGYLL  
ANGLESEY**

**STATEMENT OF SIGNIFICANCE**



PREPARED BY

MICHAEL COPEMAN MSC BA IHBC

JUNE 2020; revised MAY 2023

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Text © Michael Copeman 2020 and 2023



# 1 INTRODUCTION

## 1.1 Commission and Background

- 1.1.1 This report was commissioned by Mark Dauncey of Amos Group Ltd. on 5 March 2020, in support of proposals to repair and conserve Aberbraint House, which is currently vacant and neglected, and to return it to residential use. The report was originally drafted in 2020, but works were put on hold due to the Covid pandemic. The report has now been revised for submission in support of a listed building application to Anglesey Council ref. LBC/2023/5. A site visit was made on 11 March 2020.
- 1.1.2 Aberbraint House dates mainly from the early 19<sup>th</sup> century. It has been subject to several subsequent phases of alteration and extension and has been enriched by a remarkable variety of imported antique architectural details.
- 1.1.3 The house was first listed in 1952, at grade II and upgraded to II\* in 1998. The list description is attached as Appendix A. It was identified as a ‘listed building at risk’ by CADW in its 2014 survey.
- 1.1.4 The house lies in the modern administrative community of Llanfairpwllgwyngyll (Llanfairpwll). It was formerly in the historic ecclesiastical parish of Llanedwen, of which Afon Braint was the north-western boundary.

## 1.2 Sources and abbreviations

- 1.2.1 This report has drawn on the following archives: the University of Wales (Bangor) Library (UWBL), The Royal Commission on the Ancient and Historical Monuments of Wales/Coflein (RCAHMW) and Anglesey County Council Archives (AA). The online resources of CADW, the National Library of Wales (NLW), the British Library (BL), The National Archives (TNA), and published sources have been consulted. References to local newspapers and journals are drawn from the NLW online collection<sup>1</sup> unless otherwise stated. The Plas Newydd archive in the university library was not fully accessible either at the time of writing in 2020 or 2023. It could shed further light on the later history of the house, but it is largely concerned with the period after 1852, by which date the house was largely complete, and since when it has been little altered. Therefore, its importance in relation to the architectural history of the house is likely to be relatively limited.

## 1.3 Acknowledgements

- 1.3.1 The author is grateful to Mark Dauncey of Amos Group for his discoveries especially in relation to Druid’s Lodge; and for the assistance of Nathan Blanchard and Elena White at Anglesey CC, Lynn Moore at RCAHMW, and the archivists at the University of Wales, Bangor.

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<sup>1</sup> <https://newspapers.library.wales/>

## 2 HISTORY AND DEVELOPMENT

### 2.1 Period 1: before c1830

#### *History*

2.1.1 Aberbraint House lies just outside the north-eastern gateway to the demesne and great house of Plas Newydd. Until c1820, the site was open farmland. It comprised three small fields, amounting to a little over 3 acres, which had been part of the adjacent farms Llwynogan, Llwyn onn, and Tyddyn y pwyth. In 1820, the land was acquired by John Sanderson of Druid's Lodge, from the Rev. Henry Rowlands. A plan attached to the draft agreement for the sale<sup>2</sup> shows the river which bounded the site to the north and a footpath running diagonally across the site from its eastern corner, but no buildings. (Fig. 1) The deed includes a note to the effect that the site would henceforward be known as 'Aberbraint', suggesting that it was intended for building development from the outset, rather than continuing as agricultural land.

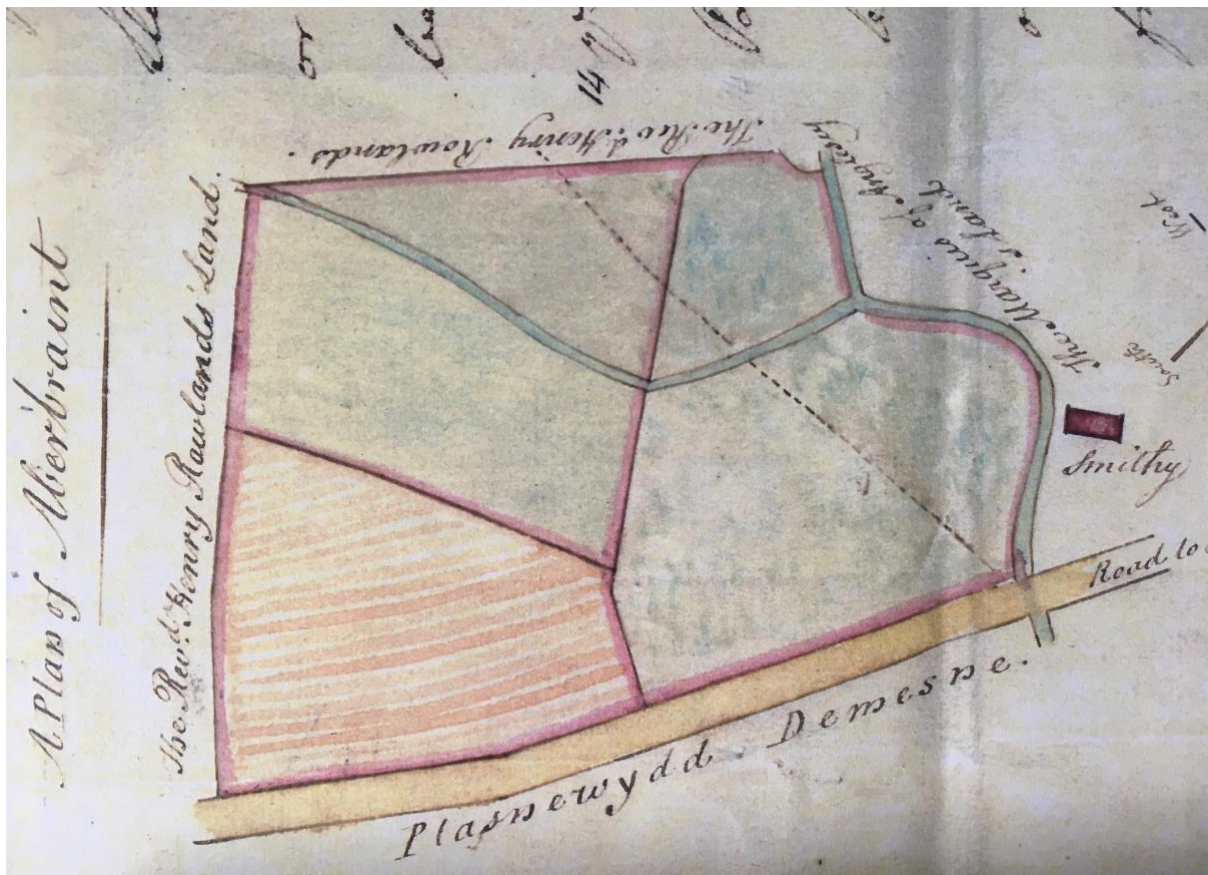


Figure 1: Plan of Aberbraint, 1820 © Gwynedd Archives ref. X/POOLE/4046

2.1.2 John Sanderson (or Saunderson) (c1765-1850) was Lord Uxbridge (later Anglesey)'s Chief Agent from 1814 to 1836.<sup>3</sup> Druid's Lodge was a house within the Plas

<sup>2</sup> Gwynedd Archives ref. X/POOLE/4046

<sup>3</sup> A John Sanderson was also Chief Agent from 1791-1810: the dates suggest they may have possibly been father and son; <https://discovery.nationalarchives.gov.uk/details/r/00e64838-ccb2-4af1-bfaf-62dbd23ff6bd>

Newydd park, some c600m north of the mansion.<sup>4</sup> It was a substantial building, in an exuberant Tudor-gothic style, possibly originally a gardeners' cottage, enlarged and enriched by Lord Anglesey's architect Joseph Potter c1819 in the Tudor-gothic style that characterised the Plas Newydd estate from the late 18<sup>th</sup> to mid-19<sup>th</sup> century.<sup>5</sup> The Lodge and its garden are shown in early 19<sup>th</sup> century watercolours by Richard Thomas Underwood (1772-1835).<sup>6</sup> It was demolished during the later 19<sup>th</sup> century and replaced by the present Druid Lodge and Druid Cottage.<sup>7</sup>

- 2.1.3 Druid's Lodge remained Sanderson's principal residence throughout his life. It was described in glowing terms in an 1848 guidebook<sup>8</sup> as: 'The beautiful residence of J Sanderson Esq. ... one of the prettiest little places on the island... unique in its well-selected treasures...'. However, Druids' Lodge was 'tied accommodation' by virtue of Sanderson's place as agent, and it was indeed considered as a possible residence for the then virtually bankrupt Lord William Paget in 1829.<sup>9</sup> Therefore, while we do not know for certain why Sanderson acquired Aberbraint, so close to Plas Newydd, it could have served equally as a retreat from his business as agent, as a secure home for his retirement, or simply been an investment.
- 2.1.4 It is not known exactly when Sanderson started building at Aberbraint. There is a reference to the diversion the River Braint between 1815 and 1823 in the Plas Newydd archive<sup>10</sup> and a new Aberbraint Bridge was under construction from c1830.<sup>11</sup> A bundle of documents dated 1822-30 in the Plas Newydd archive refer to the building of both Aberbraint House and bridge.<sup>12</sup> It seems reasonable to assume that since the bridge and river embankment form the retaining structure for the front lawn of the house, they are of a similar date; that is to say the late 1820s.
- 2.1.5 A stone tablet set in the east wall of Aberbraint Lodge has the inscription 'J. S. Y Gwr a piaw'r Nenbren Blwyddyn'r Arglwydd 1825' indicating that 'JS' (presumed to be John Sanderson) was the owner at that date and suggests a possible building date. However, the footprint of the lodge shown on the 1844 tithe map is quite different from that which exists today<sup>13</sup> and the list entry notes that it was remodelled (if not rebuilt) 'in a style associated with the Plas Newydd Estate, with characteristic casement windows and octagonal stacks' after 1844<sup>14</sup> so the stone is almost certainly reset. Its classical details and the concave form of the tablet are at odds with the architecture of the lodge. Conceivably, therefore, it came from the main house as first built by Sanderson.

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<sup>4</sup> <https://cadwpublic-api.azurewebsites.net/reports/listedbuilding/FullReport?lang=&id=19737>

<sup>5</sup> <http://orapweb.rcahms.gov.uk/coflein/C/CPG048.pdf>

<sup>6</sup> <https://www.watercolourworld.org/painting/view-grounds-druids-lodge-tww0014dc>

<sup>7</sup> <https://cadwpublic-api.azurewebsites.net/reports/listedbuilding/FullReport?lang=&id=19737>

<sup>8</sup> *Parry's Railway Companion from Chester to Holyhead*, (1848), at <https://books.google.co.uk/>

<sup>9</sup> <https://www.historyofparliamentonline.org/volume/1820-1832/member/paget-lord-william-1803-1873>

<sup>10</sup> PN/II/2538-2601

<sup>11</sup> AA, WQ/S/1830/H/41 CIRCULAR

<sup>12</sup> UWLB, PN/V/1158-1201

<sup>13</sup> <https://places.library.wales/>

<sup>14</sup> <https://cadwpublic-api.azurewebsites.net/reports/listedbuilding/FullReport?lang=&id=5468>

### *Architectural development*

- 2.1.6 Exactly what was built at Aberbraint during the first phase of its development in 1820s is uncertain. The present house is the result of several accretive phases of construction, primarily between c1820-c1850, with some later alterations. Its plan is complex- it has some 40 separate roof pitches- and awkwardly arranged. Its details are remarkably varied, despite a broadly consistent overall character deriving from the unifying effect of the rough-cast render and slate roofs. These factors together suggest that building continued over an extended period, at the whim of the owner, rather than to a fixed plan, or the designs of a professional architect.
- 2.1.7 The earliest visible fabric seems to relate to a relatively small building at the core of the present house, identifiable by massive stone rubble walls. A section of wall visible at first floor level on the south-east side of room F6 appears originally to have been external, with a wall-plate c500mm below the present one, and squared stone quoins to the southern corner. In a conjectural interpretation, this fragment could correspond with a three-bay structure on roughly the footprint of the present three-bay front range, possibly including the two simple rectangular stacks in the same section of wall; and suggesting a late-18<sup>th</sup>- or early-19<sup>th</sup> century date. Irregular masonry around the staircase hall and to its rear may also belong to a first phase of construction. However, in the absence of any architectural details, stone rubble walling of this type is difficult to date in isolation.



Figure 2: Section of possibly primary (pre-c1830?) wall, room F6.

## 2.2 Period 2 (a) and (b): c1830-1850

### *History*

- 2.2.1 Sanderson is named in the 1844 tithe award<sup>15</sup> as owner and occupier of Aberbraint, but as noted, his principal residence was Druid's Lodge and Aberbraint seems mainly to have been let. In 1835, William Bulkeley-Hughes, member of a leading local family (of Plas Coch, Llanidan), MP for Caernarfon from 1837<sup>16</sup> is described as 'of Aberbraint'.<sup>17</sup> The house was advertised in 1838 when it was described as: 'a very comfortable and commodious residence with about 5 acres of land in pasture garden and pleasure grounds. The House and Offices have been recently reconstructed and enlarged...'<sup>18</sup> The latter phrase supports the physical evidence that the first (c1820s) house on the site was enlarged quite soon after it was built. The house continued to be offered to let at regular intervals; advertisements and the names of several tenants appear in the local press. In 1845 the occupier was G.R. Pollock Esq.<sup>19</sup>
- 2.2.2 Sanderson died in 1850 aged 85,<sup>20</sup> at Druid's Lodge. Soon afterwards 1851 his executors offered for auction an enormous collection of 'singularly interesting antique and valuable household furniture, paintings ...etc.' in separate sales at Aberbraint and Druid's Lodge.<sup>21</sup> The sale catalogue for the latter survives, from which it is evident that Sanderson was a remarkable and wide-ranging collector: his pictures included work by Titian and Murillo, among others.

### *Architectural development: Period 2 (a) c1830-1844*

- 2.2.3 The 1844 tithe map<sup>22</sup> shows Aberbraint House in block plan. It cannot be relied on as an accurate representation of the buildings, but it is evidence that something like the present house then existed, except for the single storey pavilions to the front elevation and part of the north-east range. If so, the house then comprised a three bay front range, gabled at each end; the central pile, including the stair-tower, also gabled to each end; and a rear service range of which the details are less certain, but almost certainly including the present kitchen (G8) block, gabled to the south-west.
- 2.2.4 If the foregoing conjecture is correct, there is no reason to doubt that something like the extant Tudor-gothic 'cottage orneé' style building was substantially present by 1844. The appearance of the front elevation is uncertain; the map suggests that only the central (entrance) bay may originally have projected. The rubble walls would have been rendered, but the finish is not known, although stone-chip rough-cast was used in this area from the mid-19<sup>th</sup> century so something like the present finish may have existed to the principal elevations from the outset. Recently

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<sup>15</sup> <https://places.library.wales/>

<sup>16</sup> <https://biography.wales/>

<sup>17</sup> (e.g.) <https://newspapers.library.wales/view/4364106/4364109/18/Aberbraint>

<sup>18</sup> *North Wales Chronicle and Advertiser* 17 July 1838 p.1

<sup>19</sup> *Ibid.*, 5th August 1845

<sup>20</sup> <https://freepages.rootsweb.com/~wbritonad/genealogy/cornwall/1850/deaths/aug.html>

<sup>21</sup> *Ibid.*, 21st September 1850

<sup>22</sup> <https://places.library.wales/>

exposed rubble walling to the service court elevations suggests that they had a plain lime-render finish.

- 2.2.5 Although the plan is not exact, the relationship it shows between the house, outbuildings and court-yard has enough in common with the present buildings to indicate that they existed in something like their present form by 1844. The tithe map is ambiguous regarding the west courtyard range (G14, G18). It is not clearly identifiable, but its extant exposed ground floor masonry is of a single build, with a now-blocked stone 'basket' archway, typical of the early 19<sup>th</sup> century, suggesting that the range was in existence by 1844. (G14 has possibly recycled, heavy oak spine beam; the floor above it is later, of sawn soft-wood.) The map does not show the entrance archway, which is butted against the house, suggesting it is an addition, perhaps of the late 1840s.



Figure 3: Detail from Tithe map 1844, © National Library of Wales.

- 2.2.6 The most remarkable feature of Aberbraint is the collection of architectural antiques it incorporates, including fragments of medieval carving, 17<sup>th</sup> and 18<sup>th</sup>-century joinery and decorative plasterwork. How, when and from where they were acquired by Sanderson is unclear, but his position as Plas Newydd agent may well have given him access to salvaged material as well as labour and building expertise. The 1850 sale notices do not specifically mention architectural antiques, but this is unsurprising if they were built into the house. The antique fittings are very diverse and seem to have been added and adapted as the house was altered, throughout the period from c1820s-c1850, and probably embellished with new decorative details in similar styles. The extant staircase of c1700 was evidently brought from elsewhere and altered to fit an existing space: the first floor opening at the centre of the rear wall of the stair tower is otherwise difficult to explain.

- 2.2.7 The architectural antiques fall into several groups. The two late-medieval misericords in the front porch, for which the house is most celebrated, are long believed to have come from Bangor Cathedral, from which the choir stalls were cleared c1824-7.<sup>23</sup> A probably 17<sup>th</sup>/early-18<sup>th</sup> century plaster figure standing on one of the misericords. The raised and fielded early-18<sup>th</sup> century panelling seems to have been cut down to fit when first installed, and again when the house was altered. It has been combined with the various elements of probably 17<sup>th</sup> century carving (including mythical beasts, figures, portcullis motifs and guilloche and other mouldings) and clustered shafts which have a Gothic revival (i.e. late-18<sup>th</sup>/early-19<sup>th</sup> century) character. The frame to the carved stone plaque above the entrance to the lodge includes moulded decoration similar to that in the house.
- 2.2.8 Other ‘antique’ architectural features include what appear to be stone tracery and carved stone heads set into the north-east and south-west gables, which are understood<sup>24</sup> to be replicas cast in some form of artificial stone or plaster (perhaps something like Coade stone, which was in widespread use at this period). There are several similar plaster heads in the main reception rooms.
- 2.2.9 An elaborate front porch existed until 1970.<sup>25</sup> Now known only from RCAHMW photographs<sup>26</sup> and the surviving fragments, it also seems have incorporated antique architectural fabric, with Tudor arches, shafts and carved details similar to those inside the house. Its ‘Gothick’ character appears more typical of early 19<sup>th</sup> century antiquarian taste than some other features of the house, but like the interiors, it is eclectic and idiosyncratic.

*Architectural development: Period 2 (b) 1844-1850*

- 2.2.10 If the title map can be relied upon for the outline of the house, the single storey ‘pavilions’ were mostly likely added after 1844 and before Sanderson died in 1850. They have ‘Tudor’-style octagonal stone chimney shafts much like those on other Plas Newydd estate buildings of this date (and as existing at Aberbraint Lodge), which does little to help date them accurately in this context. The north pavilion has French doors incorporating antique carved tracery. (If there were matching doors to the south they have been lost.) The decorative internal joinery with the neo-classical Greek key pattern seems to have been introduced- since it shows signs of alteration- with the pavilion extensions.
- 2.2.11 Room G13 appears to have originated as a single-storey outbuilding; perhaps a wash- or brew-house, as it has a chimney. It was built up against the north-east courtyard range (G14/G18) but both structures are freestanding, and it cannot be said with certainty which came first. The G13 chimney has octagonal shaft in the mid-19<sup>th</sup> century ‘Plas Newydd estate’ style, similar but not identical to those serving the ‘pavilions’ and the lodge. The adjoining range, G15, G16 and G17, appears to have been added later. Its date is uncertain but exposed purlins in the roof indicate

<sup>23</sup> *Archeologica Cambrensis*, Vol. 98, 1 January 1944

<sup>24</sup> Information from Mr. David Senior

<sup>25</sup> <https://coflein.gov.uk/en/site/15569/details/aberbraint>

<sup>26</sup> *Coflein* NMR Site Files catalogue number C43077

that it is mid-19<sup>th</sup> century. The attic (now F15/F16/F17) has a first floor doorway to the gable end suggesting it was a produce store or hay loft.

2.2.12 The body of the house is built in local stone rubble, but various parts of the building have been altered or rebuilt in red brick of a consistent character that suggests a single building campaign. Brick was unusual in this area before c1840s. It has been used for the gabled bays flanking the front door,<sup>27</sup> which have neo-Tudor hood-moulds over the windows, not found elsewhere in the building and characteristic of the mid-19<sup>th</sup> century, but not in themselves firmly dateable. The 18<sup>th</sup> century panelling has been quite crudely altered to fit the extended front bays, but they are floored with the same wide oak or elm floorboards as the rest of the front rooms. This suggests that the front elevation was altered when the pavilions were added. If so, the work probably included the ground floor casements with hollow chamfered mullions: like the buttresses to the pavilions, an antiquarian detail.

2.2.13 The upper part of the rear wall of the kitchen (G8) is largely of red brick, as is the chimney stack, suggesting that it is associated with the insertion of the extraordinary tri-partite kitchen fireplace. This combines Tudor-style four-centred arches with squat, almost Egyptian-style columns. It is probably an early-mid 19<sup>th</sup> century architectural confection: the arches perhaps made for the purpose, the columns suggestive of recycled saddle-stones. (The cement render is modern.) The apparently primary window to G8 is framed externally with dressed stone with a moulded cornice, the only such detail in the house. Other areas of red brick include the infill of the arch in the south-west courtyard elevation.

### 2.3 Period 3: 1850-1918

#### *History*

2.3.1 In 1852, Sanderson's executors sold Aberbraint to the Marquis of Anglesey and it was added to the Plas Newydd estate.<sup>28</sup> The house was again let. In 1854, the tenant was a Mrs T. Stuart Wilkinson who was married from the house on 17<sup>th</sup> August to John Atkinson, Esq of Wig-fawr.<sup>29</sup> It was offered to let later the same year<sup>30</sup> and again in 1861; 'by the year or for the summer months'. The advertisement describes the house as follows: 'The House... consists of a Drawing Boom, Dining Room, two small Sitting Rooms, four best Bed Rooms, two Dressing Rooms, three Servants' Room, a large Kitchen, a Servants' Hall, small Pantry and Scullery, Linen and Store Closets, W. C., Housemaids' Closets, &c. Stabling for two or four horses. Saddle Room, and Room over Stable, Coach-house, Laundry, small Dairy, Hen House, Pigstie, Cow-house, &c. &c. a good sized Kitchen Garden, between three and four acres of Pasture Land, a Flower Garden with Fountain in the centre, a Trout Stream running through the ground, a small Hot-house, a Green-house opening out from the house...'

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<sup>27</sup> <https://www.amosgroup.co.uk/current-projects/aberbraith-house/>

<sup>28</sup> NLW, Coleman Collection, ref. D.D. 1009 (1852)

<sup>29</sup> *The North Wales Chronicle and Advertiser* 19th August 1854

<sup>30</sup> *The North Wales Chronicle and Advertiser*, 16th September 1854



- 2.3.2 There were numerous tenants during the succeeding years. In 1862 the birth of a daughter to Mark Robert Pechell, Esq. Commander, R.N., ‘at Aberbraint’ was noted in the local press.<sup>31</sup> In 1864 the house was occupied by Capt. Rodney Owen R N.<sup>32</sup> In May 1865 another sale of household goods was held at the house, this time ‘on the instructions of Cpt. Inglefield R.N.’, including a remarkable range of furniture, curios, machinery and paintings by Rubens Gainsborough, Winterhalter, Ostade and Inglefield himself.<sup>33</sup> The last detail suggests that the seller was (later Adm. Sir) Edward Augustus Inglefield (1820 –1894) who was a noted painter in later life.<sup>34</sup> This sale of another large collection from the house raises the possibility that the house may have attracted collectors because of its unique decorations; and some of these later occupiers may have made their own contributions.
- 2.3.3 In December 1865, Rev. David Thomas, former Vicar of Penmaenmawr was presented with a testimonial by his friends and former parishioners ‘at his residence, Aberbraint’,<sup>35</sup> and it was to let again in 1867<sup>36</sup> and in 1873.<sup>37</sup> In 1875 an advertisement offered a reward for information about the time and place of death of Charles Cartwright Esq. ‘lately of Aberbraint’.<sup>38</sup> In 1876 the house was to let once more, this time described as a ‘cottage orneé.’<sup>39</sup> In 1879 yet another sale offered, ‘a consignment of very excellent modern household furniture (from *Aberbraint*, Anglesey)’.<sup>40</sup> The sale does not seem to have been a success since many of what appear to be the same goods were on offer again the following year along with various cows, horses and dogs ‘on the instructions of P.H. Garde Esq.’<sup>41</sup> Another advertisement offered the house to let in 1881.<sup>42</sup>
- 2.3.4 By the late 1880s the house seems to have been let on longer leases. J.H. Richardson lived there for several years from 1887.<sup>43</sup> From c1895 it was occupied by a family named Watts.<sup>44</sup> A Miss Watts was still living there in 1917.<sup>45</sup>

#### *Architectural development*

- 2.3.5 The 1861 advertisement indicates that by then the house existed substantially in the form shown in the first detailed floor plans,<sup>46</sup> which date from the mid-20<sup>th</sup> century, and as it survives largely today. The number of public rooms listed suggests the ‘pavilion’ extensions had been added by then. The rooms named on the first floor correspond closely to the mid-20<sup>th</sup> century plan. The description of the fountain in

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<sup>31</sup> *Ibid*, 26th July 1862

<sup>32</sup> *Ibid*, November 1864

<sup>33</sup> *Ibid*, 27th May 1865

<sup>34</sup> [https://en.wikipedia.org/wiki/Edward\\_Augustus\\_Inglefield](https://en.wikipedia.org/wiki/Edward_Augustus_Inglefield)

<sup>35</sup> *The North Wales Chronicle and Advertiser*, 9th December 1865

<sup>36</sup> *Ibid*, May 1867

<sup>37</sup> *South Wales Daily News* 18th April 1873

<sup>38</sup> *The North Wales Chronicle and Advertiser*, 20th November 1875

<sup>39</sup> *Ibid*, 22nd January 1876

<sup>40</sup> *Ibid*, 19th April 1879

<sup>41</sup> *Ibid*, 11th December 1880

<sup>42</sup> *Ibid*, January 1881

<sup>43</sup> *Ibid*, January 1887

<sup>44</sup> *Slaters North and Mid-Wales Directory* 1895

<sup>45</sup> *The North Wales Chronicle and Advertiser*, 5th January 1917

<sup>46</sup> UWBL ref.

the grounds and the green-house conforms with the 1889 and 1900 Ordnance Survey map and an early 20<sup>th</sup> century photograph.

- 2.3.6 Because it was let on relatively short term tenancies, it is unlikely that substantial rebuilding, or alterations or additions to the decorative scheme took place during the period c1850-80. The list description notes that the house was ‘altered and extended late C19 and early C20’ but the Victorian and later work visible today is relatively minor.
- 2.3.7 The first large-scale, reliable, OS map, of 1889, shows the house with more or less its extant footprint. At some point before then, the single storey pavilions were extended by the creation of bay windows under ‘reverse-pitched’ roofs, which continued around the ends of the house as open verandas. The latter have been lost and are known only from photographs, which make them difficult to date more accurately than to the mid-late 19<sup>th</sup> century. The details of each differ, their design is odd, and their construction was apparently quite crude. The floorboards in the bay in the southern pavilion are narrow deal, rather than the wide oak of the earlier rooms. Overall, their quality does not match that of the main house although presumably they pre-date the greenhouse mentioned in 1861 that extended somehow from the southern ‘veranda’, suggesting a date in the 1850s or 60s. If so, their existing, very plain interiors would be of this date.

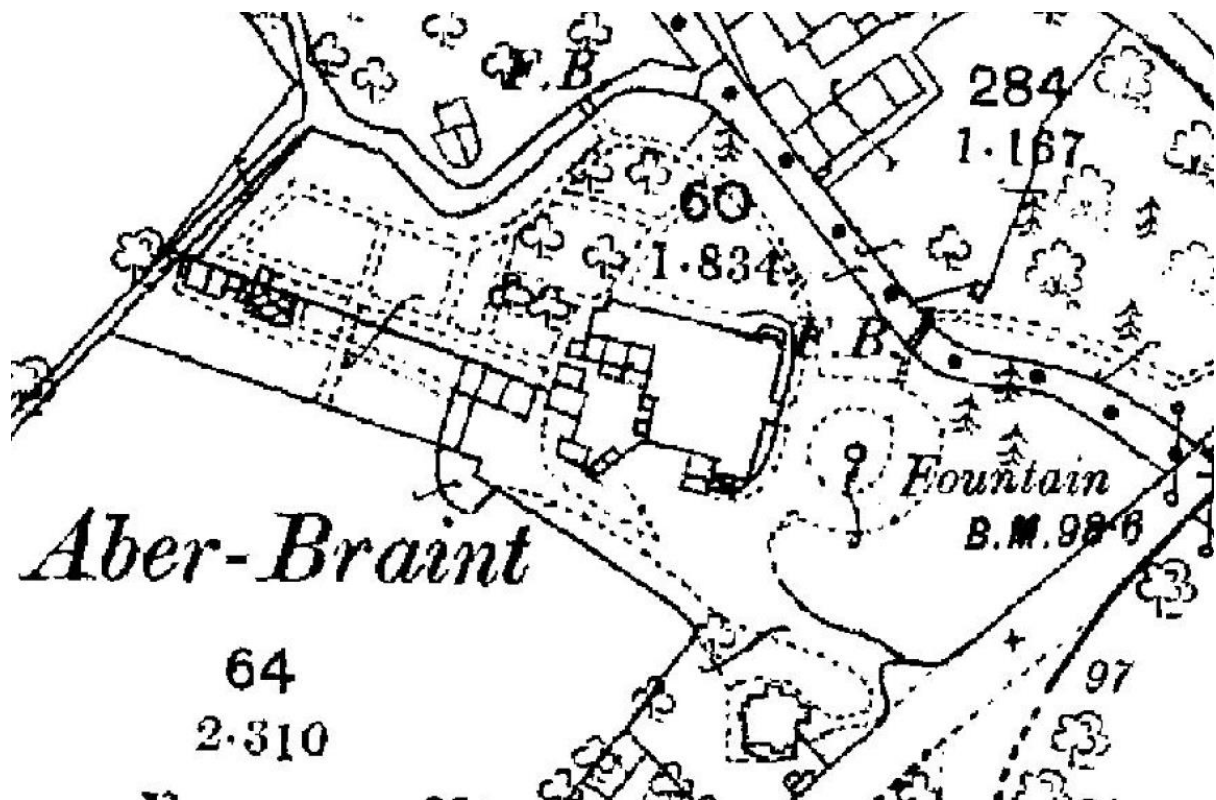


Figure 4: Detail from Ordnance Survey 25<sup>th</sup> map, 1889 Edn. © Landmark Information Group

- 2.3.8 The north pavilion has a standard late-19<sup>th</sup> century chimney-piece, which is out of keeping with the antiquarian character of the other decorations. This indicates an alteration, but it may not be connected to any other work.

- 2.3.9 The service rooms cannot be identified accurately from the 1861 description, so it does not help inform the evolution of the north side of the house. The porch to the north-west elevation facing into the courtyard is butted against the west range and must therefore post-date it. It is shown on the 1889 map.
- 2.3.10 What is now G7 appears to have been built as a single room by 1844 as noted above, and subsequently enlarged to take in what are now G10 and G11; and to abut G13. The 'new' room (G7/G10/G11) has a continuous roll-moulded cornice, imported arched beams, and fragments of recycled 18<sup>th</sup> century panelling around the window comparable to the other antique material in the house. The exterior of G10 is single-storey with an irregular pitched, gabled roof. It is awkward in comparison to the symmetrical pavilions, suggesting a date after 1850, incorporating architectural antiques that may already have been in the house. The ceiling lights appear to be late 19<sup>th</sup> or early 20<sup>th</sup> century; they suggest that this may have been a billiard room.
- 2.3.11 The 1889 map shows rooms G14 and G18 as part of a longer range, then of four service rooms. The 1918 OS map (surveyed 1913) indicates that there was a covered passage along the northeast side of the court-yard. The lodge had also taken something close to its present form, with the exception of the extension to the south-east. Otherwise, only some minor outbuildings, and an unidentified structure to the south corner of the main house have been lost since. (The latter is not shown as part of the house by 1900.) By 1900, the OS map shows a range of greenhouses to the west of the main house, all now gone.



Figure 5; Postcard, Aberbraint, Llanfairpwll 1933; image courtesy of Anglesey Archives ref. WSG/4/29

- 2.3.12 Apart from the casement windows to the front range and the sash to G6, most of the sashes (with horns and/or large panes) are late-19<sup>th</sup> or 20<sup>th</sup> century, and of standard types. The casement to G13 is similar to those on the to the first floor of

the front elevation, and may have been reset, in association with alteration of this part of the house. Its odd position in the room suggests that there might previously have been a door in this area.

## 2.4 Period 4: 1918-present day

### History

2.4.1 The early 20<sup>th</sup> century OS maps show few changes during this period. A postcard dated 1912 in the national collection<sup>47</sup>, shows the front of the house with the fountain at the centre of the drive. The house is largely as it is today, except for the porch. If the barge-boards were originally more decorative, they had been replaced by this date. The details of the fountain (marked on the early OS maps) cannot be made out, but it appears to have been quite small. A much better image of 1933<sup>48</sup> (Fig. 5) shows the same view with no discernible changes since 1912, with no indication that it is other than a single, relatively high status dwelling .

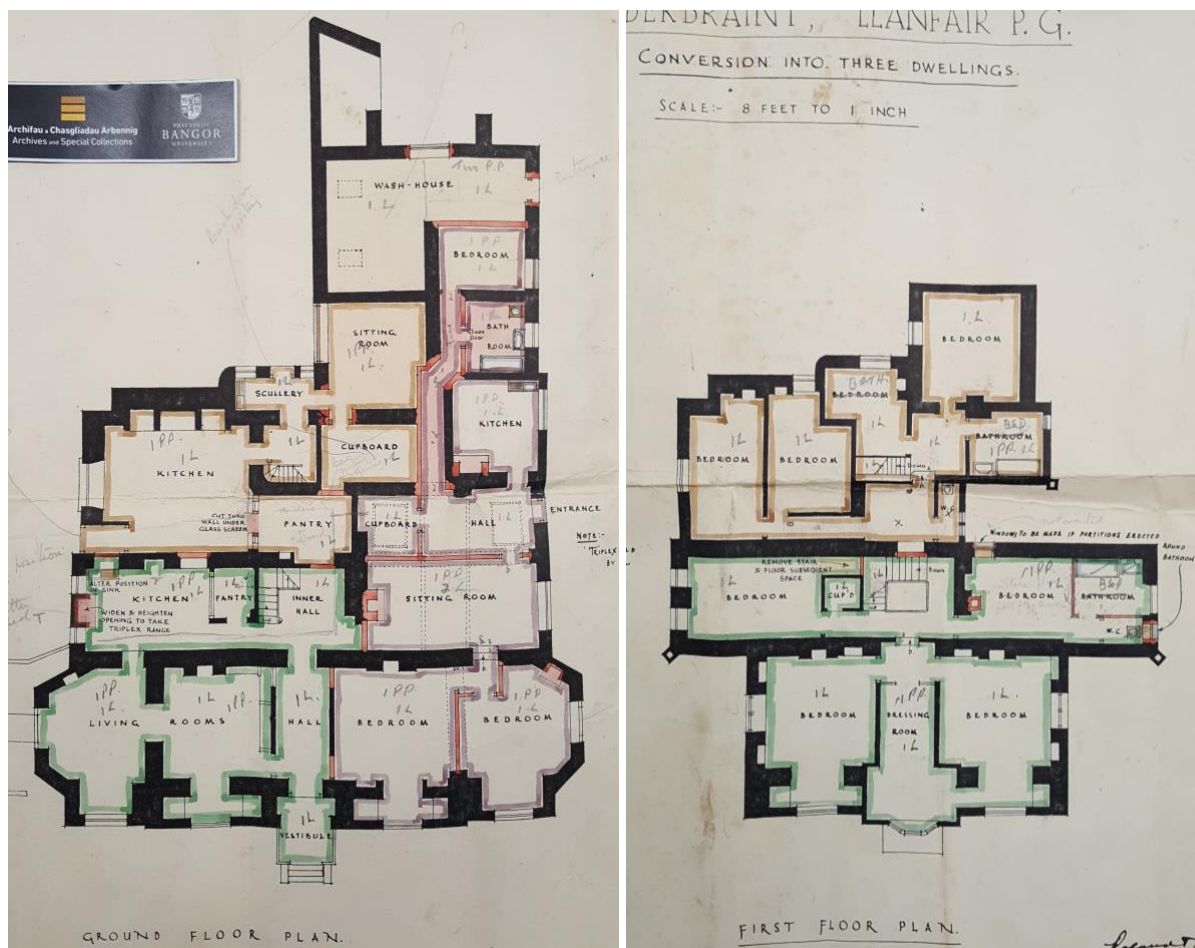


Figure 6: Undated mid-20<sup>th</sup> century plans showing subdivision of Aberbraint into three dwellings (reproduced by kind permission of Bangor University, Archives and Special Collections)

2.4.2 At some point between c1930 and c1950 the house was subdivided into three dwellings. A set of undated plans for this work (Fig. 6), signed by Roland T Jones

<sup>47</sup> RCHAMW ref. RC20\_0144

<sup>48</sup> AA ref. WSG/4/29 (1933)

FSI of Midland Bank Chambers, Bangor, is held in the Plas Newydd collection of the University of Wales.<sup>49</sup> Jones is recorded undertaking a good deal of work for the Penrhyn estate as a surveyor, mainly in the 1920s and 30s.<sup>50</sup> It has not been possible to trace any planning applications (prior to the current proposals) associated with the property. Therefore it seems probable that the house was subdivided between c1933 and c1940, although a post-war date is possible.

- 2.4.3 The house was recorded and illustrated (because of the medieval misericords) in the RCAHMW survey of Anglesey, published in 1937. The statutory list entry states that building was first listed in 1952, (although Anglesey CC has suggested that it was included only on the provisional list in 1966). A set of black-and-white photographs for the National Monuments Record are held by RCAHMW.<sup>51</sup> They are not dated but clearly show the house after the subdivision, stripped of the glass-house and planting visible in the 1933 postcard. It is most likely that the photographs were taken when the house was listed. The extant stone chip render is visible, with areas of repair indicating that it was already of some age.

#### *Architectural development*

- 2.4.4 The plans for the subdivision of the house are the earliest known to show the whole building. They do not- typically- correspond exactly with the work that seems to have been carried out, but they generally appear to be accurate. (They do not, for example, show the small mid 20<sup>th</sup> century porch to the south-west elevation.)
- 2.4.5 Relatively little was altered to create the three new units. G10 and G11 were formed by subdividing the existing (putative billiard) room. G3 was a subdivision of a large front reception room, although the partition reinstated a primary division. A corridor was formed out of the north side of rooms G12 and G14, and a link to the former service range (G15, G16, G17). A new window was added to the north-west end of the service range and a door formed out of an existing facing north east from the same room (G17).
- 2.4.6 The plans show a secondary stair, now removed, in the former larder or scullery G5a. An existing staircase is shown rising from what is now the southern part of G12 which joins the extant upper flight. If this is correct it means that a section of massive wall between G9 and G12 has since been removed, a change for which no documentary evidence has been found.
- 2.4.7 Rooms F15, F16 and F17 still appear to have been a storage loft at this date; they are not shown on the subdivision plans. The plans suggest that at some point after the OS survey of 1913, but before the subdivision, the end of the north-east courtyard range had been altered and a small part demolished.
- 2.4.8 The porch and the ‘verandas’ were removed in 1970. In response to the application for listed building consent, the Council for British Archaeology described them as

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<sup>49</sup> UWBL Ref. PN/VIII/5686

<sup>50</sup> UWBL Refs. PFA/7/1-18

<sup>51</sup> *Coflein* NMR Site Files catalogue number C43080

‘probably decayed beyond repair and [are] not particularly worthy of preservation’ but urged that the architectural antiques around the porch be preserved.<sup>52</sup> The NMR photographs show the ‘verandas’ already in very poor condition. The end wall of the south pavilion, where the glass house had been removed, was then faced with plain render, with a presumably recycled horizontal (‘Yorkshire’) sliding sash window, an early 19<sup>th</sup> century type usually found in vernacular buildings. The front elevation was faced in the existing type stone-chip rough-cast render.

- 2.4.9 Changes since c1970 include the probable alteration of the back stairs, the demolition of an outbuilding attached to the north-west end of the service range and the conversion of the attic (F15, F16, F17) into accommodation, including the addition of a new stair.<sup>53</sup> The work to the north wing is the only substantial change to have been made since the house was first subdivided. Some timber floors have been replaced in concrete, along with the skirtings in the same areas. Additionally, some of the mid-20<sup>th</sup> century partitions- for example, where doors were blocked as part of the subdivision, have been removed. Several ceilings, including those to F3 and F6, have been taken down.

#### *Current condition*

- 2.4.10 The house survives substantially in its mid-19<sup>th</sup> century form, with no significant additions or demolitions, and is almost unaltered since the mid-20<sup>th</sup> century subdivision. The historic elevations, roofs and internal plan are largely intact. Many external architectural details including antique fragments and ‘gothic’ casement windows survive.
- 2.4.11 Internally, it is unclear to what extent the historic joinery survived the subdivision. The NMR photographs show only the porch, front door, entrance hall and main stair. The condition of the reception rooms from that date is not known. Today, the panelling and joinery in the entrance hall and G1 appear to be reasonably complete, although a chimney-piece is missing. The main staircase<sup>54</sup> and the chimney-piece in G2 are understood to be in good condition. Elsewhere, in e.g. G2/G3, G7 and the front first floor bedrooms, the historic joinery is fragmentary and if these rooms formerly contained more antique material, it appears to have been removed as part of the subdivision. The first floor skirting boards, for example, are plain deal.
- 2.4.12 The house has been in poor condition for many years and is now semi-derelict. It was inspected in 2007 when it was occupied and found to be in ‘fair’ condition. When it was inspected again 2014, although still partly occupied, its condition had suffered a ‘high rate’ of decline’ and it was registered as ‘at risk’.<sup>55</sup>

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<sup>52</sup> Anglesey CC ref 2015/A/ 1471

<sup>53</sup> No planning or listed building consent has been found for this work

<sup>54</sup> Not inspected- covered for protection at the time of authors site visit

<sup>55</sup> CADW BAR Report ref. 5430\_1

## 2.5 Setting

- 2.5.1 The garden may be regarded as a ‘non-designated’ heritage asset. It is recorded on the *Coflein* website,<sup>56</sup> which refers to its form as shown on the 1900 OS map. Its main elements then included a ‘conservatory, fountain, greenhouse, orchard, kitchen garden, possible flower beds and woodland.’ This layout is also shown on the 1889 OS map, and conforms broadly to the description in 1861. None of the features mentioned is visible today, apart from the site of the fountain (of which the base could survive below ground).
- 2.5.2 The curtilage structures include several that belong to the principal phase of development (Period 2: c1830-c1850). The wall to the south-west side of the garden includes two dressed stone basket arches, surmounted by distinctive irregular stonework in the early 19<sup>th</sup> century ‘rustic’ taste analogous with the ‘cottage orneé’ style of the house. The building at the southern end of this wall has a Tudor arch to the courtyard. The garden wall and outbuilding appear on the 1844 tithe map. The arches are of high quality, but the rest of the wall and the attached outbuilding are of rough rubble, and some sections have collapsed. Their exact original form and purpose are unclear. The quality and character of the arches suggests that the outbuildings and garden originally had a more formal, consciously-designed character than now exists, but they may simply have made use of surplus dressed stone. The tithe map indicates that there was a second parallel wall to the south-west running from a building, of which a ruinous fragment is attached to the west of the entrance archway. Its purpose is unclear. The short, tall section of wall running west from the arch may be part of the early building or wall.
- 2.5.3 The courtyard archway is a somewhat grandiose architectural statement in this context, with battlements that echo the Plas Newydd ‘estate style’ noted above. It is closely comparable with the Grand Drive archway to Plas Newydd (Joseph Potter 1805), and the mid-19<sup>th</sup> century Grand Lodge. It seems most likely to date from Period 3(a). Its style is not quite that of the house, but conforms to its eclectic historicism; perhaps intended to suggest, in the romantic antiquarian spirit of the day, that the site had ancient origins. As it is attached to the main house the arch should be regarded as part of the listed building. It survives in good condition.
- 2.5.4 All four dilapidated out-outbuildings of stone rubble (including the structure with the Tudor arch) around the courtyard and to the south and west of the house may incorporate early 19<sup>th</sup> century fabric. They are shown in their present configuration on the 1889 OS map, but they have evidently been altered since then (e.g. with 20<sup>th</sup> century steel-framed windows, brick chimney etc.). A roughly-built, flat-roofed brick, stone and concrete shed adjacent to the lodge is mid-20<sup>th</sup> century (?c1940s).

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<sup>56</sup> <https://coflein.gov.uk/en/site/265103/details/aber-braint-garden-llanfair-pwllgwyngyll>

## 3 SIGNIFICANCE

### 3.1 Assessment of significance

#### *Introduction*

3.1.1 The following assessment of significance uses the categories for describing heritage values and significance contained in the *Conservation Principles for the sustainable management of the historic environment in Wales* (CADW 2011):

- *Evidential value*: the potential of a place to yield evidence about past human activity.
- *Historical value*: the ways in which past people, events and aspects of life can be connected through a place to the present - it tends to be illustrative or associative.
- *Aesthetic value*: the ways in which people draw sensory and intellectual stimulation from a place.
- *Communal value*: the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.

3.1.2 The following categories have been used to evaluate heritage significance, based on the CADW's *Conservation Principles* and ICOMOS best practice:

- *High significance*: elements of the historic environment whose values are both unique to the place and are relevant to our perception and understanding of architectural and social history in a national and international context. (These are the qualities that, for this building, warrant statutory listing at grade II\*.)
- *Moderate significance*: Elements that contribute to the building's status as a nationally important place. These are the qualities that justify statutory protection through listing at national level (i.e. grade II).
- *Some significance*: Elements that make a positive contribution to the way the building is understood and perceived, primarily in a local context.
- *Little significance*: Fragmentary elements of primary fabric, which provide some indication of the original form of the building.
- *Neutral significance*: Elements which neither add to, nor detract from, the significance of the building.
- *Intrusive*: Elements of no historic interest or aesthetic or architectural merit that detract from the appearance of the place, or mask the understanding of significant elements.

3.1.3 The list entry summarises the special interest of Aberbraint House that justifies its listing at grade II\* as follows: 'a richly detailed early C19 house in a Gothick idiom, incorporating fine quality C17-C18 woodwork as an integral part of the Gothick character.' This may slightly understate its heritage values, particularly in the context of Plas Newydd. While it is a relatively late example of the 'Gothick' taste, it is of considerable importance in the context of regional architecture and culture. The picture is complicated by the changes that have taken place in the 20<sup>th</sup> century, including the loss of the porch and some interiors since the house was listed.



### *Evidential and historic values*

- 3.1.4 Aberbraint House is of great interest for what it tells us about John Sanderson himself and about the evolution of the house in the shadow of a great estate, to which it is so closely related in its fabric and its origins. Sanderson acquired the site in 1820, built and extended a house there, and enriched it with an extraordinary collection of architectural antiques before his death c1850. Yet despite extensive references to his professional life in the Plas Newydd archive, little has been discovered about his family or interests. He is not known to have published on antiquarian matters, although he was a founding member of the Cambrian Archaeological Association.<sup>57</sup> It is not certain that he even had Welsh antecedents; his (or his father's) connection with Lord Uxbridge seems to have begun with the Paget estates in England.
- 3.1.5 Aberbraint has stylistic affinities with the sophisticated, early Gothic revival style of Plas Newydd, and in particular with Druid's Lodge; but there is no evidence that that it is the work of a professional architect, and much that points to the hand of an amateur, over quite a long period of time. Its interest is, rather, as the personal project of an individual with knowledge of, an interest in, and access to, the key currents of architectural fashion and antiquarian sources in the 1820s and 30s. Aberbraint has many unique and fascinating attributes, but it is not a coherent design and much of its interest lies in features of limited architectural quality. Its significance derives from the building as a whole, as it has evolved: it is more than the sum of its parts.
- 3.1.6 Whatever Sanderson's intentions for Aberbraint, it reflects an extraordinarily eclectic taste, and occasionally, what appears to be an almost indiscriminate approach to making use of whatever material came its way. The house is a superficially conventional villa in the 'cottage orneé' mode, but its contents and details are some way from the mainstream of late-Georgian or early Victorian antiquarian taste. It is wholly individual and highly eccentric: above all it is John Sanderson's personal monument.
- 3.1.7 Much of the house's fabric and contents seem to derive in one way or another from Plas Newydd. The fine dressed stone arches to the garden wall and stable range are of far higher quality than the surrounding rubble-work, suggesting that the dressed stone was conveniently available, and used where it would fit. Similarly, the raised and fielded 18<sup>th</sup> century panelling must come from a high status house (or houses) but it is fragmentary, so again, it suggests *ad hoc* utilisation. Even more so, the 'Greek key' pattern joinery, while evidently altered to fit, cannot be much older than the Aberbraint House itself.
- 3.1.8 By contrast, the salvaged medieval fragments indicate a conscious attempt at rescue. In this context, the late 18<sup>th</sup> century re-working of Plas Newydd is a key factor. It was one of the earliest houses in Britain to be 'medievalised'; between 1770 and 1800, for Sir Nicholas Bayley (d.1882) and then his son, the first earl of Uxbridge

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<sup>57</sup> *Archaeologia Cambrensis*, Vol. II, W. Pickering, London 1847; accessed at <https://books.google.co.uk/>

(d.1812), under the direction of their architects James Wyatt and Joseph Potter. As such it was a forerunner to the widespread appreciation of medieval art that had developed by the 1820s, evolving from Horace Walpole's dilettantism to the more academic approach of Rickman and others, thence to the Victorian gothic revival.

- 3.1.9 If the misericords are indeed from Bangor, to have rescued them must have been an active choice, suggesting that Sanderson had a personal interest in antiquarianism. However, his role as agent raises the tantalising possibility that some of the medieval (and perhaps the 17<sup>th</sup> century fragments) could be from Plas Newydd itself. The 18<sup>th</sup> century rebuilding almost completely replaced a great medieval house of which relatively little is known, which included a chapel at that survived until 1793.<sup>58</sup> That Sanderson's use of old material was more than simply personal and pragmatic may be seen in the context of other contemporary, local sites such as Gwydir Castle, Llanrwst, where Charles Barry recycled old fabric in the rebuilding as early as 1828.<sup>59</sup>
- 3.1.10 There are also a specifically Welsh themes running through the fittings of Aberbraint, including the carved dragons over the front door, the portcullis motifs (a badge of the Tudor dynasty, which had historic links with Anglesey) and the date stone set into the lodge. Assuming Sanderson was responsible for the wording of the tablet, it is notable that he used a poetic Welsh phrase, 'Y Gwr a piau'r Nenbren' to declare his ownership.
- 3.1.11 Aberbraint also shines light on the relatively high social status of the Chief Agent of a great aristocratic landowner. Sanderson styled himself 'Esq.' and following his retirement, became Sheriff of Anglesey. Although he lived primarily at Druid's Lodge, he was evidently a wealthy man at the time of his death and at Aberbraint he built what is clearly a gentleman's residence, on his own land. The collections sold by his executors were extraordinarily large and diverse; Aberbraint alone could hardly have contained them.
- 3.1.12 The relationship of the house to its setting on Afon Braint is also of historic interest, as a reflection of the development of Anglesey with new roads and bridges in the early 19<sup>th</sup> century, and possibly of the advantage that someone with the resources to acquire land could gain from such improvements. A bridge existed at Aberbraint before 1820, but its rebuilding and the associated embankments may well have enhanced the value of the adjoining land for building by protecting it from flooding. The garden is of minor evidential value, for the late-19<sup>th</sup> century features identifiable on the OS maps of 1889 and 1900.
- 3.1.13 In summary, the *evidential* and *historic* values of Aberbraint House make a substantial contribution to its special interest, and are of *high* to *moderate significance*.

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<sup>58</sup> Haslam, R., Orbach, J., Voelker, A. (2009) *The Buildings of Wales: Gwynedd*, Yale UP, London and New Haven, 152ff  
<sup>59</sup> *Ibid.* p47

*Aesthetic value*

- 3.1.14 The present appearance of Aberbraint House is typical of the style of villa that emerged in the 1820s and 30s, to become characteristic of North Wales by the 1840s: in the words of *Buildings of Wales*, ‘gabled, between barge-boarded-cottage and Tudor, considered to convey both antiquity and rusticity’.<sup>60</sup> Such houses were often built by English families as rural retreats, and indeed Aberbraint was frequently let out as a summer home. The building developed in several stages: from quite a small house of c1820s to a much larger one by c1840s and eventually, by 1850, having the full complement of gables, barge-boards and ‘Tudor’ details, rusticity and antiquity, and some mild castellation of the sort that was going out of fashion by the 1840s.<sup>61</sup> What is unusual is that it seems to have reached that state not by commission, from an architect’s pen, but as one individual’s expression of architectural and intellectual fashions as they happened. Sanderson may even have added to the house with the ‘holiday market’ in mind, selecting antiques that reflected the fashion of the time.
- 3.1.15 The exterior retains a great many features and details of architectural and historic interest. The house would always have had slate roofs, and as noted, its primary walling material is stone. One would expect the primary chimneys to have been of the same material, but brick was used in later work. It is difficult to date the present stone-chip rough cast render. Where it has been removed a variety of renders can be seen, including a soft lime finish to the service court. The present render is uniform across the whole house and was presumably intended to unify it, so it probably post-dates the later 19<sup>th</sup> century extensions. Its texture suggests a late 19<sup>th</sup>- or early-20<sup>th</sup> century date. It appears to be of-a-piece with the cement dressings. It has evidently been repaired at several times. The 1933 photograph suggests that the exterior then had a softer finish in which the black stone chips were not so prominent, but the resolution of the photo is too low for certainty, and this could simply be the result of weathering over time.
- 3.1.16 The front elevation is clearly the principle and most architecturally ‘polite’ element of the building, albeit as the result of several phases of alteration. The front porch contains the most important architectural antiques in the house, which are *high significance*. The fenestration of this elevation, with its antiquarian details, is unusual. The plain barge-boards may be a replacement; some decoration would be more usual in the 19<sup>th</sup> century. The central tower, a feature characteristic of Anglesey, plays a relatively small role in the appearance of the building. The porch survives, in part, as the front door surround, which is still identifiably ‘Gothick’. The loss of the rest does not seriously diminish the value of the house as a whole. The loss of the ‘verandas’ and the (presumably slightly later) greenhouse, which do not appear to have been of high quality in appearance or design, has caused little harm.
- 3.1.17 The side and rear elevations are haphazard. The primary ‘villa’; that is, the Period 2 house, is identifiable by the gables to the north-east and south-west elevations. These secondary elevations incorporate ‘medieval’-style tracery and carved or

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<sup>60</sup> *Ibid.* p.69

<sup>61</sup> *Ibid.* p.47

moulded heads to the gables; oddities such the stone frame to the kitchen window; a crudely heightened chimney stack, and the intrusive later porch. The northern half of the north-east elevation has been more altered than others. Its utilitarian conversion from service use is obvious. The uneven later 19<sup>th</sup> century gable over the central single storey range is notably awkward. The fine arch recently revealed to the south-west service court elevation may never have been intended to be seen. The porch to the adjacent north-west elevation is a crude late extension. With the exception of the windows to G7 and F6 the reset window to G13 and the French doors to the northern pavilion, the fenestration to the secondary elevations is not of special interest.

- 3.1.18 Internally, the historic plan is of interest to the extent that it survives substantially intact and illustrates the accretive ‘unplanned’ nature of the house’s development: for example, the blocked openings and massive masonry at the core of the house, and the opening half-way up the stairs. The layout is broadly conventional: a hallway off which the principal rooms open, leading to a stair and thence to the service rooms and back stair. The pavilions and the enlarged (putative billiard) room G7/G10/G10 provided additional space to what was by upper-middle-class 19<sup>th</sup> century standards, a relatively small house. The c1840s change to the front elevation seems to have been for visual effect; it added little usable space.
- 3.1.19 The interior is notable primarily for the surviving decorative joinery. The main staircase and the chimney piece to room F2 are of high quality, in reasonable condition and well-protected. The front door, its surrounds, the entrance hall (except for the doorway blocked in the 20<sup>th</sup> century sub-division) and room G1 are substantially intact, but they are at risk from dry rot. Elsewhere in the main (front and central) parts of the house, there are some historic doors, fragments of historic joinery including moulded architraves, areas of panelling, door linings etc. None of the other rooms now has anything close to a complete historic decorative scheme. There are moulded ‘medieval’-style heads, similar to those on the exterior, in rooms G2 and G3, and the recycled carved beams in G7/G10. Several good timber floors survive, and the stair hall has good, but not especially rare, late-Victorian encaustic floor tiles. Several of the reception rooms have historic plasterwork such as cornicing but none is completely undamaged. Nonetheless, these features are of *moderate to high significance*.
- 3.1.20 In the service part of the house the most notable feature is the kitchen hearth, which seems- on the evidence of the tripartite design and the rebuilt wall behind it- to have been made-up in the early-mid 19<sup>th</sup> century in the antiquarian spirit of the house. It is highly eccentric, and probably unique; if not a great work of art or antiquity. Minor details of interest in this area include the clay-tile floors and the spine beam to G14. These features are of *some significance*.
- 3.1.21 The subdivision of the principal rooms (G2, G3, G7) and the blocked doorway from the entrance hall to G2, associated with the mid-20<sup>th</sup> century subdivision are *intrusive*. The alterations to the service range of the same period (G15, G16, G17) including fenestration, partitions and kitchen porch are of *neutral significance*. The conversion of the attic (F15, F16, F17) and new stair in G17 affected interiors that

had already been much altered. The exposed purlins in this range indicate that the structure is of mid-19<sup>th</sup> century date, but it is significant only as part of the house as a whole. Overall, these interiors are of *little significance*.

- 3.1.22 In summary, the house, its elevations and the structural elements that make up the Period 2 villa, including the extensions to the pavilion fronts, are of *moderate significance*. However, as a whole, including the architectural antiques, the ensemble has *high significance*. Some of the architectural antiques, including the misericords, front door and its surround, the staircase, and the other medieval, 17<sup>th</sup> and 18<sup>th</sup> century features including the carved decoration in the entrance hall and G1 and elsewhere, are of *high significance* in their own right. Where historic fittings have been cut down or survive only as fragments, such as the 18<sup>th</sup> century panelling in room G7, they are of *some significance*.

### *Setting*

- 3.1.23 Immediately across the main road to the south of the house is the northern boundary of Plas Newydd park. This is a grade 1 listed landscape, laid out mainly c1800 at least partly to designs by Humphrey Repton. The Grand Lodge gateway, opposite Aberbraint, was, from c1805, the main entrance to the park. However, apart from the gateway and adjacent lodge, this part of the park is covered by a belt of dense, mature woodland, extending some 500m to the south-west. There are no views to or from Aberbraint from the open parkland closer to the mansion. Nonetheless, this aspect of the setting of Aberbraint is of *moderate significance*.
- 3.1.24 Aberbraint House forms a group with the grade II listed Aberbraint Lodge in views from the south and east. There are three other listed buildings within sight of the house: the entrance archway at Grand Lodge, Grand Lodge, and Pen yr Allt. All are grade II. This 'group value' is of *moderate significance*. The grade II listed 1-3 Tyddyn Pwyth terrace and 1 & 2 Victoria Cottages lie some distance to the south-west of the site and do not form part of its visual setting.
- 3.1.25 The lodge and driveway, the outbuildings identifiable on the tithe map and 1889 Ordnance Survey, and the garden bounded by the road, the river and the historic wall to the west of the house are the principal historic features that make up the house's immediate setting. Of these, the archway to the service court is the most significant individual element (apart from the lodge), forming part of the view of the house and lodge from the road. It clearly echoes the Grand Lodge archway to Plas Newydd and is an eccentric and grandiose feature, of strong architectural character and historic interest. The garden wall is also of some interest, both as a feature of the historic garden and for the dressed stone-work it incorporates.
- 3.1.26 The most distinctive architectural component of the outbuildings is the Tudor-arched doorway to the small building facing the yard. Otherwise they are plain, with no outstanding features, and principally of interest for their historic disposition and as a visual setting for the house. They benefit from simple, robust stone-work, characteristic of the regional vernacular, emphasising their utilitarian purpose.

3.1.27 The garden wall and the structures that enclose the service court are intrinsic to the historic and architectural form of the house and, as such, of *moderate significance*. The other stone outbuildings are of *some significance*. The mid-20<sup>th</sup> century shed adjacent to the lodge is not of special interest.

3.1.28 The house and its outbuildings formed a domestic group within a defined garden, separated from the surrounding agricultural landscape, from the time of their construction in the early 19<sup>th</sup> century. By the mid-late 19<sup>th</sup> century, the group had been extended include the greenhouses and outbuildings along the laneway to the west of the house, bounded by the extant garden wall. The greenhouses and some of the historic structures have now been lost and the surviving outbuilding are largely derelict. This historic group value has been eroded and for this reason is of only *some significance*.

## 3.2 Summary Statement of Significance

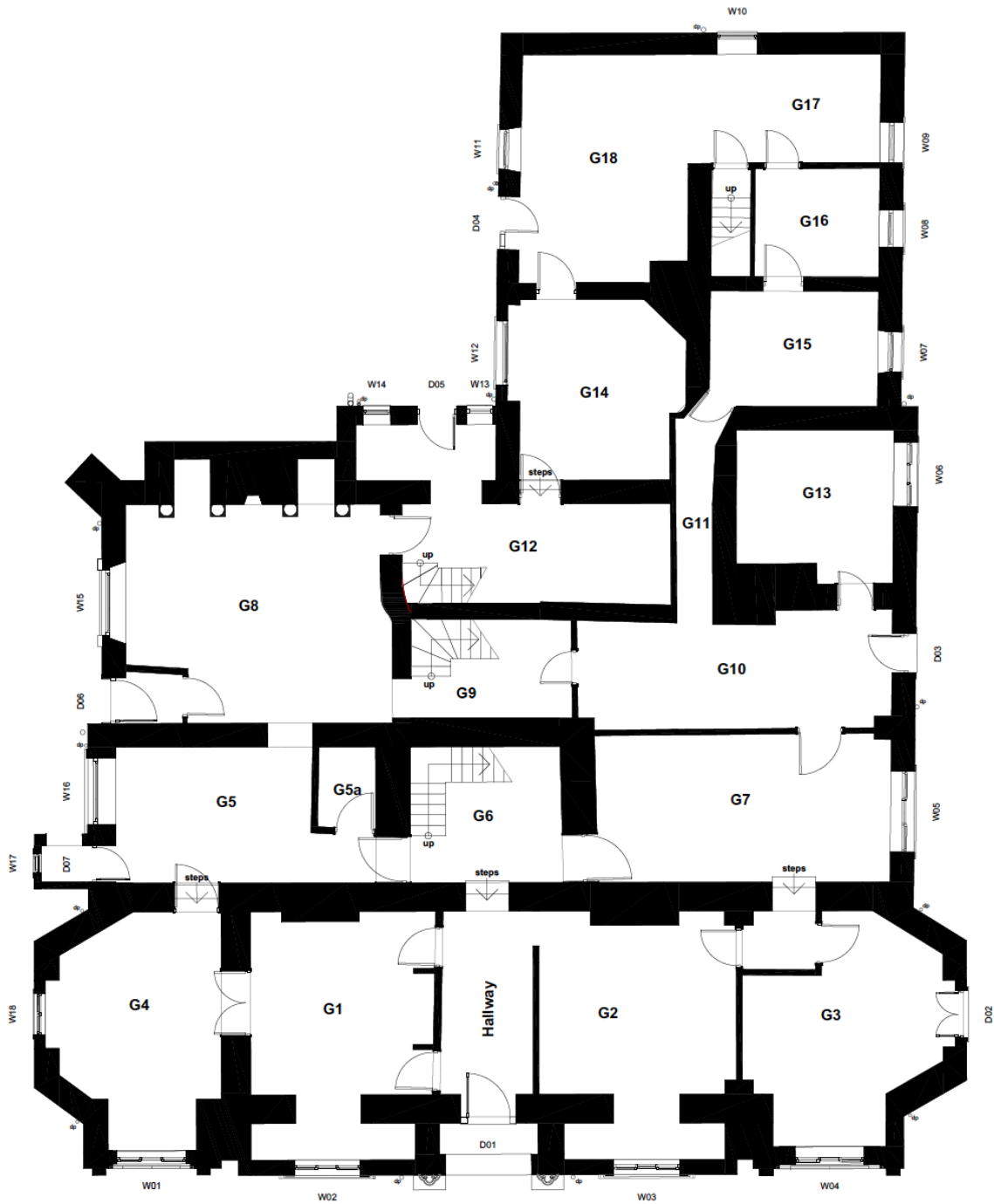
3.2.1 Aberbraint House is of *high significance*:

- For the ensemble of house and antique fittings collected by John Sanderson, reflecting the antiquarian taste of the period c1820-50;
- For the rarity of the medieval and 17<sup>th</sup> century architectural antiques

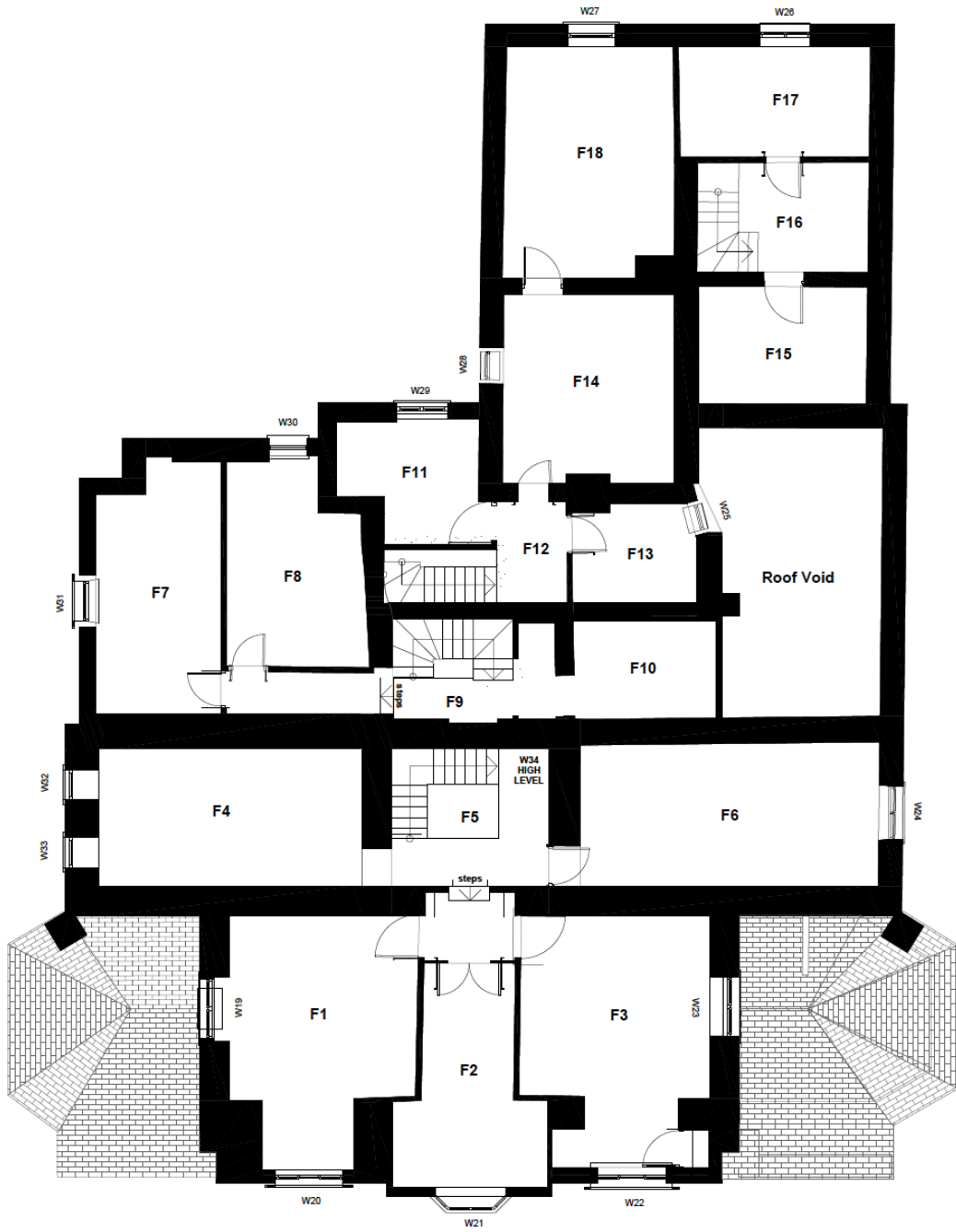
3.2.2 Aberbraint House is of *moderate significance*:

- As villa of c1830 in the ‘cottage orneé’ architectural tradition, characteristic of North Wales at this period;
- For its group value and setting including the outbuildings, garden walls, lodge, bridge and the adjacent Plas Newydd park, Grand Lodge and archway;
- For its historical and evidential significance in the context of Plas Newydd.

APPENDIX A: Key plan with room numbers



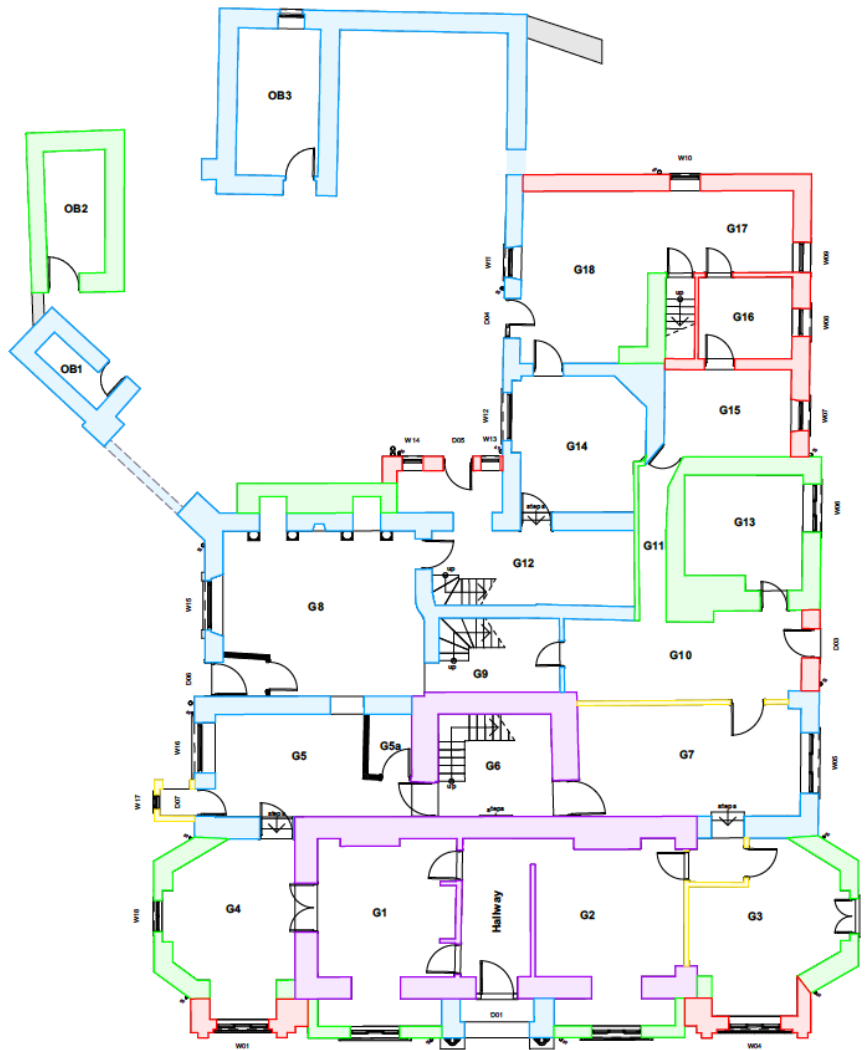
Existing Ground Floor Plan Layout - 1:100



Existing First Floor Plan Layout - 1:100



# APPENDIX B: Building age and significance plans (Building age)



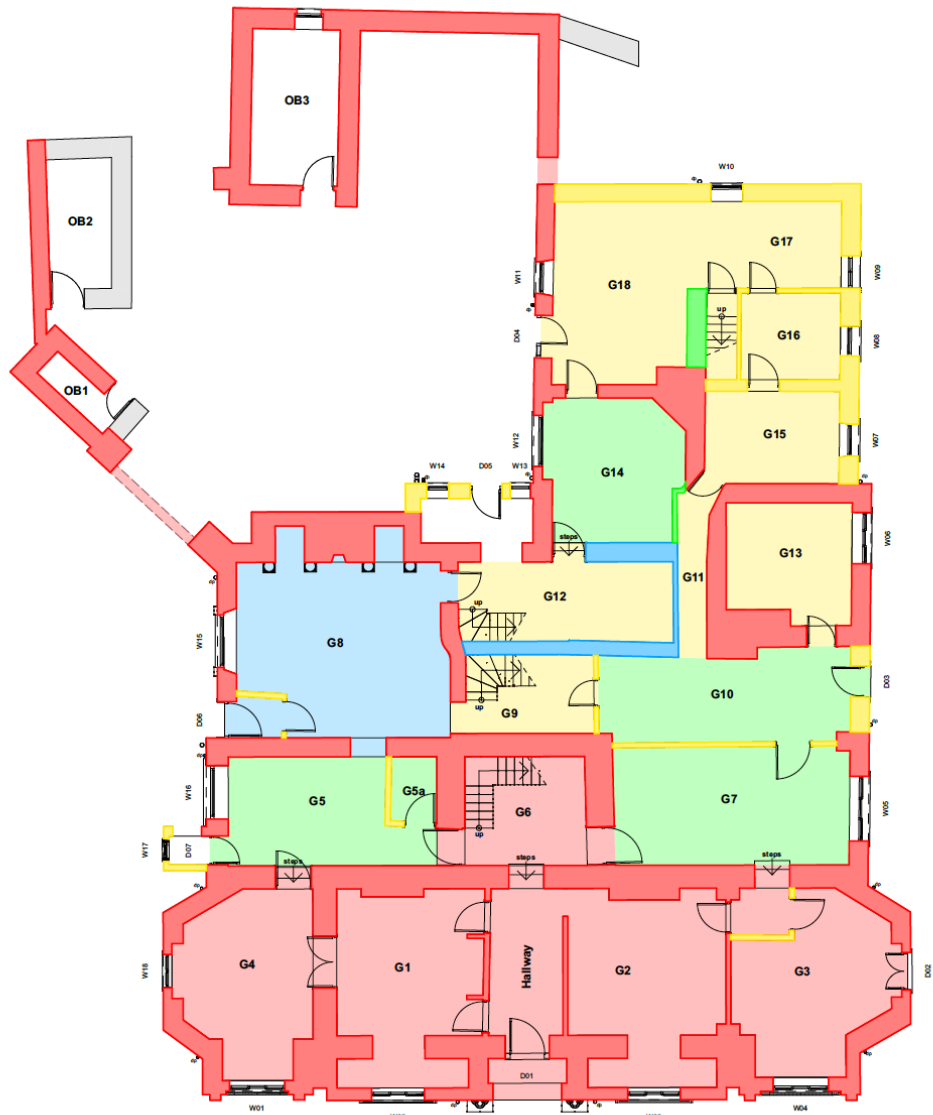
1

GF - Aging  
1:100

**Date**

- Period 1: Before c1830
- Period 2 (a): c1830-1844
- Period 2 (b): 1844-1850
- Period 3: 1850-1918
- Period 5: 1918-present

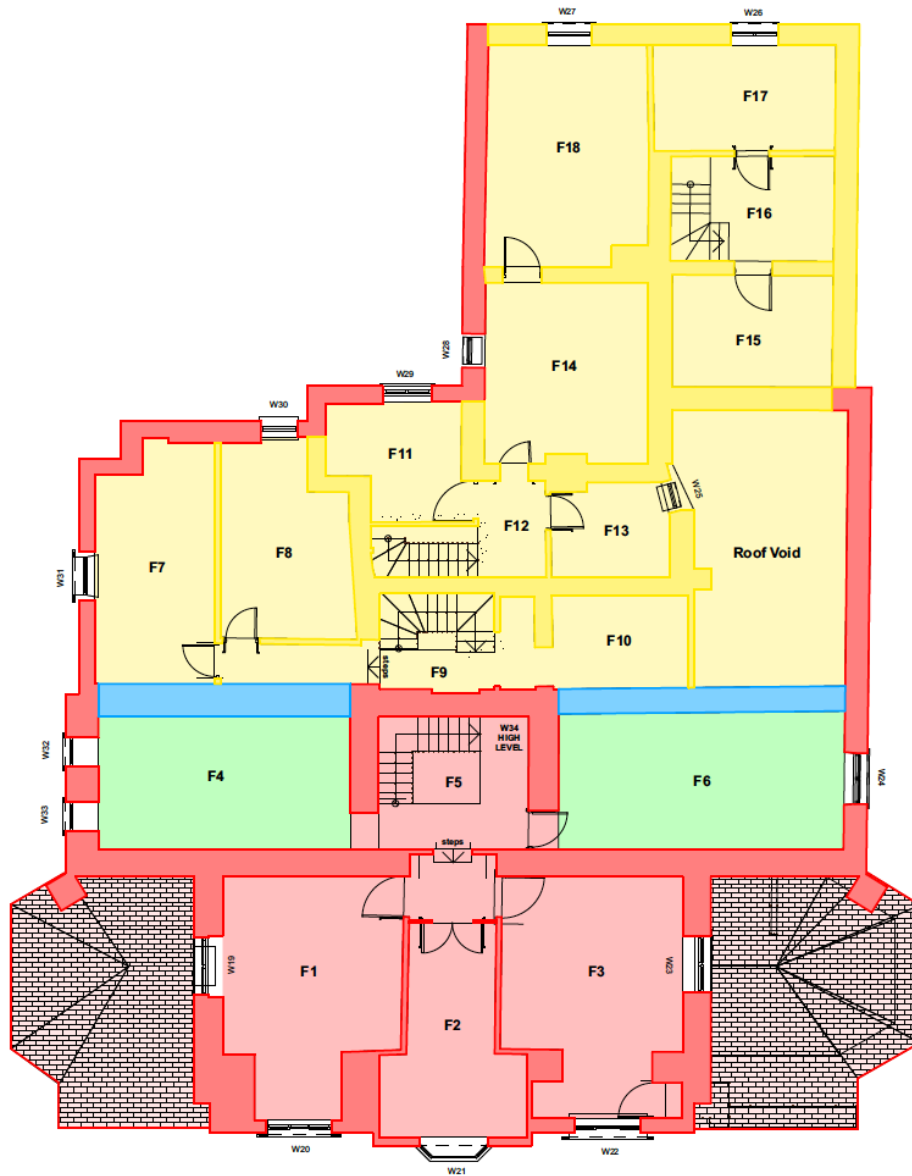
(Heritage significance: ground floor)



GF - Significance  
1:100

- Significance**
- High
  - Moderate
  - Some
  - Little

(Heritage significance: first floor)



2  
-

FF - Significance  
1:100

**Significance**

- High
- Moderate
- Some
- Little

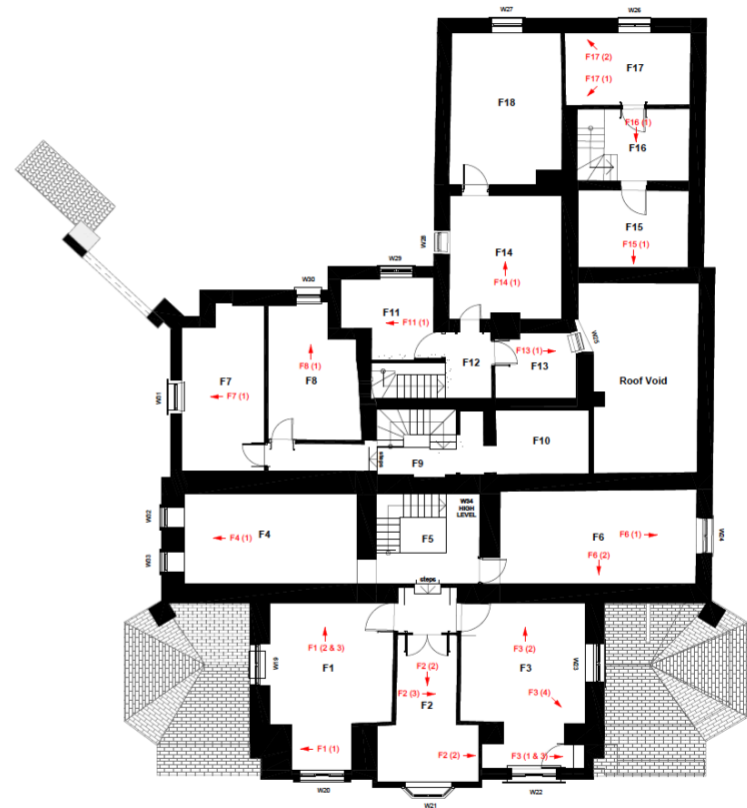
APPENDIX C: location key to photographic record



Ground Floor - 1:100

SE (1)

SE (8)  
(Late 20th Century Photo  
showing original porch)



First Floor - 1:100

## **APPENDIX C**

### Outline of Current & Proposed Works

## Aberbraint, Manor House

### Outline of Current & Proposed Works



December 2021

Rev A- 10/3/23 – Revised to incorporate Amos drawings to Appendices A, B & F.

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## Introduction

It is not the intention to set out here any of the history of the property, which is far better covered by other documents, the purpose of this document is to give an overview of the urgent works undertaken together with outline of the proposed works to be carried out.

The property together with the adjacent lodge building were acquired as two separate sales from different ownerships with the intention of bringing them back together under one umbrella as previous when part of the estate.

When acquired the property was found to be in very poor condition, it had been stood unoccupied for a number of years and it was evident that prior to that there had been no proactive preventative maintenance carried out and that repairs had been carried out on an ad-hoc reactionary basis.

The roof was in extremely poor condition, with missing or slipped roof slates and ridge tiles however more problematic were the failed valley gutters which due to the shape of the building and complexity of the roof are numerous.

During rainfall free running water could be observed in most locations, both ground and first floor, beneath roof valleys with the central staircase tower (G6 & F6) being particularly badly affected. Under emergency works applications repairs to the roof structure and re-slating of the roof was carried undertaken as outlined in Section 1.1.

To prevent continued damage from water penetration it was necessary to replace the roof coverings entirely together with repair and reinstatement of valley gutters. The local planning authority were notified of these emergency repair works prior to commencement and a photographic record of the building was also carried out prior to the urgent remedial works.

The removal of the roof coverings exposed both wet and dry rot to roof and whilst an initial inspection and report carried out by specialists Kimberley Gulf identified evident locations of such rot it has become apparent on progressively removing damaged plasterwork that rot has spread throughout the building and wholesale treatment of all timbers will be required together with treatment of masonry to eradicate spores to prevent reoccurrence of outbreaks.

It is understood that previous repair/replacement of roof timbers was carried in within the 1980's to the front of the house (East Elevation) following a fire with refurbishment works carried out internally to the rear of the property (Block C) also assumed to be in the 1980's which included replacement of floors.

Further remedial works is known to have been carried in 2015/16 which included the removal of ceilings and repairs to rotten floor joists to room G2.

The three non-original original bays to the front elevation show significant signs of movement laterally away from the main structure with subsidence evident to the right hand bay.

It is evident that when constructed the bays were not physically tied into the existing structure, this combined with inadequate strengthening to the foundations has resulted in the rotation of the masonry to the bays away from the original structure, evident by the wide open joints between the two.

Previous efforts at remedially tying the structures has been carried out as discussed further within Section 1.2.6 with the recommendations for more robust remedial action detailed with the Structural Engineers drawings in Appendix C.



The property is divided into three separate dwellings but without clear demarcation and the intention is to rationalize the divisions to make the separation between the three clear and distinct.

The existing drainage system is old with numerous points of failure and collapse, the intention is to replace the drainage pipework to feed via a sewage maceration pump into the mains sewer rather than feeding to a septic tank as previously which is no longer permitted.

An inspection was carried out by Insul-Eight to establish the presence of asbestos and subsequently tiles to Room G12 and roof sheeting to outbuildings was removed.

The room reference numbers referred to within this document are as marked out on the existing floor plans in Appendix A.

## 1.0 – External Elevations

### 1.1 – Roof

The roof was in extremely poor condition with numerous missing and slipped slates, perished flashings and displaced ridge tiles with open joints, the numerous valleys and box gutters to the roof had failed allowing free flowing water to penetrate the building during and after rainfall.

The extent of the defects has led to extensive water penetration throughout the structure resulting in water damage internally to ceiling and wall plasterwork together with penetration of roof, ceiling and decorative timberwork.

The damp conditions created internally by the poor state of the roof have led to the promotion of wet rot that is evident to timberwork at numerous locations throughout the building whilst dry rot is also evident throughout.

To protect the building from further deterioration and damage the roof has been stripped entirely and re-slatted, under emergency works applications. Defective roof timbers have been repaired by removing the sections of rotten timber and splicing and bracing new sections. The existing roof slates were re-used and with minimal additional matching Welsh slates needing to be sourced and procured.

It is noted that the roof to the front of the property had previously been replaced during the 1980's following a fire though the exact date for the fire is not known, sawn roof rafters and joists are evident with galvanised wrap over straps used which confirms the roof construction as being modern.

Where necessary sections of rotten roof timbers were cut back with new sections of timber spliced and braced to retain the original timber, an example can be seen in Photo 1 which also shows an example of the replacement to the failed valley box gutters.



(Photo 1)

Barge boards and cappings of the correct thickness together with decorative timber features have been reinstated to match the originals and painted in the original estate colour scheme.

The corroded metal gutters, rainwater and soil pipes are to be replaced with Alutec aluminium alternatives.

### 1.2 – External Walls Generally

The sand and cement render to all elevations has suffered from water penetrating behind it due to the failure of gutters and down spouts and was found to be cracked, blown and loose with no key into the stonework or brickwork and has been removed to prevent further penetration of water behind the render coating and into the walls. Where the joints to the stonework are found to be open or defective they are to be raked back by hand and re-pointed in a lime mortar mix, joints are to be left recessed to provide a key for the subsequent reinstated render where it is to be applied, otherwise they will be pointed flush.

A sample of the existing render has been analysed and the façades are to be re-rendered in a comparable render mix, any damaged or missing feature surrounds to windows or doors together with plaster busts are to be repaired, reinstated or replace to match the originals again in a mortar mix to match the analysed sample.

The masonry exposed by the removal of the render is a mix of natural stone and brickwork, whilst stone has been used in the construction of the earlier extensions brick has been utilised on the later extensions to the front of the house and part of the rear. The stone used is of varying quality with some used on later extensions being very open grained and porous.

The stonework to the original building would no doubt been exposed, the addition of the render coating will have been applied subsequent to the brickwork extensions to the building, it is proposed however to leave those areas of stone that are in good condition exposed as indicated in Appendix F, such areas of stonework to be raked by hand to a minimum depth of 25mm and re-pointed using an NHL3.5 based lime mortar mix.

Areas of biological growth are evident in a number of locations, those on the North and West elevations being the most notable. Prior to the re-rendering all such growth will be treated with a suitable biocide and removed.

All window frames, doors and door frames have been inspected by a specialist joinery sub-contractor to establish the extent and nature of any necessary repairs, where repairs are required that cannot be undertaken insitu windows and doors are to be carefully removed and taken away for the necessary repairs to be carried out. Glazing is to be replaced where necessary and timberwork to windows and doors painted in a colour scheme to match original.

### 1.2.1 – North Elevation

The exposed masonry surrounding door D02 to Room G3 is brickwork indicating that this door opening is non-original and has likely been modified in the past to accommodate the current doors. (Photo 2) The joints between the brickwork and stonework are wide and open in places with voids through to the interior, these are to be deep pointed in the designated lime mortar, where necessary additional stone or slate gallets and packing will be introduced to ensure a full and compacted joint.



(Photo 2)

The window surround to W23 in Room F3 (Photo 3) has open joints noticeably to the left hand side, these are to be raked back and re-pointed in the designated lime mortar.



(Photo 3)

The render to the surround of the niche feature to the gable above W23 (Photo 4) has failed in parts with isolated missing patches and is to be reinstated to match original.



(Photo 4)

The render to the surround of window W05 in Room G7 (Photo 5) has failed in parts with isolated missing patches and is to be reinstated to match original.



(Photo 5)

The render to the surround of window W24 in Room F6 (Photo 6) has failed in parts with isolated missing patches and is to be reinstated to match original.



(Photo 6)

The render to the surround of door D03 in Room G10 (Photo 7) as failed in parts with isolated missing patches and is to be reinstated to match original.



(Photo 7)

The render to the surround of window W06 in Room G13 (Photo 8) has failed in parts with isolated missing patches and is to be reinstated to match original.



(Photo 8)

The render to the surround of windows W07 & W08 to Rooms G15 & G16 (Photo 9) respectively are missing and are to be reinstated to match original.

The render to the surround of window W09 in Room G17 (Photo 9) has failed in parts with isolated missing patches and is to be reinstated to match original.



(Photo 9)

W07

W08

W09

### 1.2.2 – West Elevation

The westerly double gable (Photo 10) has outriggers at the centre of each gable, their purpose is unclear however it is possible that they were originally part of an outbuilding complex to the rear of the property, they are not keyed into the gable and the intention is to remove them.

The bond in the stonework between the two gables is poor in places with a continuous joint with no mechanical bond evident above the ground floor window. This joint is to be deep packed and pointed with consideration given to installing joint reinforcing bars.

The lintels to the windows are timber and are to be assessed as to their condition, where possible lintels will be treated and retained.



(Photo 10)

W26

W10

W27

### 1.2.3 – Courtyard Elevation

To the South elevation of the Courtyard (Photo 11) large sections of render were missing to the recessed elevation within the courtyard allowing for ivy growth to establish itself and for biological growth to stain the stonework.

This section of the elevation consisting of the former stables and coach house is entirely stone with the exception of the infill within the arched entrance around window W12 to the former coach house which has brick around the window.



(Photo 11)

W11

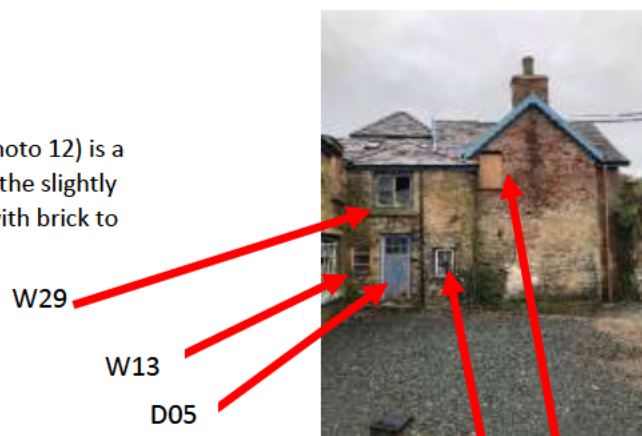
D04

W12

W28

The cills to the Ground floor windows W11 & W12 together with the cill to the First floor window W28 are cast concrete and are to be retained.

The masonry to the West elevation of the Courtyard (Photo 12) is a mixture, the left hand gable is constructed using stone, the slightly recessed right hand gable is stone to the ground floor with brick to the first floor which must have been a later addition.



(Photo 12)

W29

W13

D05

W14

W30

Both gables have patches of brick infills within the stonework with there also being a cement infill within the right hand gable. The masonry to the left hand gable is in poor condition with numerous brickwork infills indicating modifications, this is evident internally where the walls to the porch to Room G12 and Room F10 above were found to be very damp.

The infill brickwork and stonework to the left, right and above door D05 is poor constructed and the will be carefully dismantled and reconstructed and in the process window W13 will be infilled.

Between the two gables and to a lesser extent to the left of the left hand gable there is well established ivy growth which has rooted and taken hold where a large section of render had failed and was missing, biological growth is also evident between the two gables and in the corner with the South elevation, again where large sections of the render were missing. All vegetation and biological growth is to be removed prior to re-rendering.

There is a redundant flue outlet to the right hand gable that is to be infilled.

The cill to the First floor window W29 is cast concrete whilst the cill and lintel to the First floor window W30 are slate, all are to be retained.

The existing arched and castellated entrance to the courtyard (Photo 13) is to be retained .



(Photo 13)

#### 1.2.4 – Courtyard Outbuilding

The outbuilding to the rear is in good condition and has been re-roofed and re-pointed, the former car-port adjacent to this building is to be reinstated. (Photo 14)



(Photo 14)

### 1.2.5 – South Elevation

The South elevation is predominantly stone with brickwork to the First floor of the left hand gable and together with a later addition brick porch to the right hand gable, it is proposed to remove this porch and infill door D07 to form a window as this is no longer required as a doorway.

The Ground floor window W15 is set within a fine grained sandstone former door surround (Photo 15), other than the surrounds to windows W19 & W23 this is the only sandstone feature to the building with all other window surrounds or features being rendered. It is assumed that this surround is an acquisition from elsewhere and has been incorporated rather than having been an initial element of the designed.

The surround is coming away from the body of the house and will require dismantling and re-fixing with the necessary stainless steel dowel and restraint ties incorporated, the cill to the window is slate and is to be retained.



(Photo 15)

W31

W15

D06

The render surround to the First floor window W31 remains intact with some minor damage that will be repaired, the cill to this window is slate and will be retained.

The rendered niche feature above W31 is intact.

The majority of rendered surround to door D06 has come away and will be reinstated.

The cill to the Ground floor window W16 is cast concrete and will be retained, the render to the window surround is mainly lost and will be reinstated.

The render surrounds to First floor windows W32 & W33 remain intact with some minor damage that will be repaired, the cills to these windows are slate and will be retained.

The former door opening around window W18 is infilled with brickwork, it is assumed that this originally matched that to door D02 on the North Elevation. The render to the window surround will need to be reinstated including the cast concrete cill.



(Photo 16)

W16

W32

W33

W18

The rendered niche feature to the gable above window W18 is intact, the plaster busts were found to be hollow and crazed and were removed by a specialist plastering sub-contractor for replication and reinstatement at a later date.

### 1.2.6 – East Elevation

The East elevation consists primarily of three brick built full height bays and two ground floor extensions which are later additions to the building. There is no mechanical bond between the brickwork and stonework to these bays and the main structure and as a result of settlement the bay walls are separating from the main house structure and require underpinning to prevent further settlement and remedial ties to prevent any further rotational movement as per the Structural Engineers recommended urgent remedial actions and as detailed on drawings SK03 & SK05 within Appendix C.

Photo 17 taken within Room G3 showing the vertical joint and lack of mechanical bond between the masonry to the ground floor extension and the original main house structure.



(Photo 17)



(Photo 18)



(Photo 19)

Photo's 18 & 19 showing the external vertical joint between the left and right hand bays and the main house structure, the void between being infilled with cement mortar externally.

Photo's 20 & 21 showing the external vertical joint between the left and right hand bays and the main house structure.



(Photo 20)



(Photo 21)



(Photo 22)



(Photo 23)

Photo's 22 & 23 showing the modern red oxide painted external pattress plates to the tie bars on the left hand gable. Note also the telecoms bracket in Photo 22, the imposed load of the wiring and wind loading may have contributed to the separation of the gable masonry from the original structure.





(Photo 24)



(Photo 25)

Photo's 24 & 25 showing the tie bar arrangement internally.



(Photo 26)

Photo 26 showing tie bar within modern stud and plasterboard partition, again thought to be 1980's as part of works following the fire.



(Photo 27)

The central projecting gable to the front elevation at First Floor is not of masonry construction but has been found to be studwork to the sides with render of metal mesh (Photo 27), the mesh being evident externally in places (Photo 28) whilst to the front it is lathe and render (Photo 29).



(Photo 28)



(Photo 29)



(Photo 30)

The two later addition ground floor extensions at either end of the elevation are constructed using an inferior quality gritstone to the remainder of the building, the stone is very open coarse grained, porous and friable to the touch.

The smooth render to the pilasters to these later additions is to be reinstated as is the render to the surround of windows W02, W03, W20 & W22.



(Photo 31)



(Photo 32)

A comparison of the Photo's 31 & 32 indicates that the frontage at least has been re-rendered in the not too distant past, patch repairs evident in Photo 31 cannot be seen in Photo 32 and furthermore the patters plates to the tie bars previously discussed have been rendered over in Photo 32.

The hood mouldings above these window was found to be a mixture of external plaster and fibre glass and will be replicated in external plaster by a specialist plastering sub-contractor. In Photo 31 no hood mould is present to the left hand Ground Floor window and this is the one which is fibre glass, likely to have been added at the time of the re-rendering.

The external plaster busts below the outside gable apex newels were found to be hollow and crazed and where removed by a specialist plastering sub-contractor for replication and reinstatement at a later date.

It is proposed to reinstate the porch to replicate the original evident using Photo's 31, 33 & 34 for reference, the intention being that this will return an original feature to the building which in turn will help protect the fresco's and detailing to the main entrance which are currently fully exposed to the elements.



(Photo 33)



(Photo 34)



*(Photo 35)*

Photo 35 showing the subsidence below the right hand brick bay extension and whilst Photo 36 shows the stitching tie bars to the right where the brickwork has separated from the stonework of the original building.



*(Photo 36)*

### 1.2.7 – Chimneys

The render has been removed to the chimneys, the pots removed and set aside and where required the brickwork stabilized, the chimneys have been re-flaunched and the pots re-set and are being re-rendered to prevent water ingress.

## 2.0 – Internal

### 2.1 - Generally

There has been no central heating system previously installed within the property, the fitting of such a system would require significant intervention to the building fabric and as such the intention is to install a retrofit underfloor heating system.

The system is non-intrusive and provides the additional benefit of enabling electrical conduits to be run within the floor make up rather than requiring penetration of floor timbers or the chasing in to solid floors and masonry.

## Ground Floor

### 2.2 – Room G1 (Proposed Snug – Unit 1)

Plaster to parts of this ceiling had previously come away or had been removed with other sections which having been visibly damp and sagging have dried and fallen away. Removing some of the sagging plaster revealed extensive wet/dry rot evident in the ceiling/floor timbers and therefore the plasterboard was removed in full to allow the extent of rot to be assessed and treatment and repairs made to the timbers and to enable the timbers to dry out fully. The ceiling to be lathe and plastered at a later date once the full extent of timber repairs, replacement and treatment have been established.

The previously replaced plasterboard to the ceiling within the bay window, believed to be part of the 1980's repairs, had dropped bringing with it the plaster architrave to the front and left of the bay.

Part of the plaster to the wall to the right of the chimney breast had been removed and the plaster architrave was not present, the architrave was also missing across the chimney breast where the modern tiled concrete mantel and hearth have been removed.

The wall will be re-plastered and the plaster architrave will be reinstated wherever it is found to be missing or damaged throughout the room to match the existing profile.

The original shelving to this alcove has been located and found to be infested with dry rot, it is to be refurbished retaining as much of the original as can be salvaged prior to reinstatement.

The timber paneling to the right of the doors through into Room G4 were found to be infested with dry rot and have been removed to replicated and reinstated at a later date.

The doors, frame and surround through in to Room G4 are to be removed for refurbishment prior to reinstatement.

The large central timber feature cupboard was found intact though the cupboard doors were found to be removed and inside the unit and will be re-fixed as part of the refurbishment of this feature.

The left hand architrave to the left hand opening leading to the hallway was found to be missing, likely due to rot given its proximity to the rotten timbers found. This architrave will be replaced with a matching profile together with any further sections found to be in need of replacement.

The plasterwork and architrave to this side of the left hand doorway leading into the hallway was missing as was the right hand architrave to the right hand door and these will be reinstated as part of the ongoing works.

The window to the bay has been removed for refurbishment together with the decorative timber beading surround and will be reinstated at a later date.

The decorative timber beading around the opening leading to the bay remains intact.

The plasterwork within the bay is damp and blown with signs of previous repairs having been carried out in the past, this will have to be removed and re-plastered as part of ongoing works.

The floor is concrete and whilst it is assumed that it would have originally have been of timber construction there is no record as to when and why the floor was replaced.



*Photo 37 - Room G1 – Rotten timber lintel to previously infilled opening.*



*Photo 38 - Room G1 – Rotten ends to floor joists and bearing timber.*



*Photo 39 - Room G1 – Dry rot to left hand door frame leading to Entrance Hall.*



*Photo 40 - Room G1 – Dry rot to right hand door frame in G1 leading to entrance hall.*

### 2.3 – Room G2 (Proposed Family Room – Unit 1)

The ceiling to this room had been previously removed to facilitate repairs to the rotten joists evident by the new timbers spliced to the originals with steel plates and bolts, it is assumed that that repairs were carried out due to dry/wet rot as discovered in the adjacent Room G1 however it is evident that no preventative treatment was carried out as fruiting bodies have appeared and rot is evident on both new and original timbers. The ceiling is to be lathe and plastered at a later date once the full extent of timber repairs, replacement and treatment have been established.

The missing plaster architrave is to be reinstated using the profile from room G1 as a template.

The modern gypsum plaster to the wall between this room and G7 was found to be damp and was removed to evaluate the extent of damage caused by moisture penetration and the potential spread of rot found in the timber beam between this room and G3. The wall is to be boarded out and re-plastered.

The cement skim within the alcove to this wall together with that around the adjacent doorway through into the hallway is to be removed as part of the re-plastering works.

The timber lining to the alcove was found to be infested with dry rot and was removed and will be reinstated to match the original as will the timber lintel which whilst rotten remains in place at the moment.

The large marble fire surround in the centre of this wall has been boxed in for protection, once all internal works are nearing completion a specialist sub-contractor will be engaged to restore the surround and undertaking any necessary repairs.

The missing section of skirting to this wall is to be reinstated, dimensions and profile to match existing.

The modern gypsum plaster to the top of the wall at ceiling level between this room and G3 was removed to assess the extent of rot to the beam between these rooms and to facilitate the insertion of temporary support.

The wall between this room and the hallway between rooms G1 & G2 is intact however given the cement repairs that have previously carried out the intention is to remove the plaster to this wall, board it out and re-plaster.

The timber feature paneling to the external wall alcoves, window surround and dividing walls is to be retained, refurbished and repaired by a specialist sub-contractor, any repairs to be carried out on a like for like basis.

The modern gypsum plaster to these areas is to be removed boarded out and re-plastered.

There was no door or surround through to the hallway between this room and the hallway however the intention is to replicate the opposing door into G1.

The timber floorboards are to be retained, any found to be rotten or damaged are to be replaced with suitable matching replacements.



*Photos 41 & 42 - Room G2 – Previous repairs to floor joists and evidence of dry rot effecting these replacement timbers.*



*Photos 43 & 44 - Room G2 – Dry rot within lintel and paneling to niche feature.*



*Photos 45 & 46 – Room G2 – Dry rot to main supporting timber beam with temporary support inserted.*

## 2.4 – Hallway Between Rooms G1 & G2 (Proposed Hallway – Unit 1)

The ceiling to this room had been previously removed to facilitate replacement of rotten joists which it is understood was carried during 2015/16. The ceiling is to be re-plastered at a later date.

The missing plaster architrave is to be reinstated using the what remains intact as a template.

The double doors through to Room G6 have been removed into safe storage for refurbishment and repairs prior to reinstatement, the door surround was found to be infested with rot and will require replacement on a like for like basis.

The decorative timber paneling to the left of the door had a combination of missing, split and warped panels with the presence of dry rot evident, these are to be repaired or replaced, the paneling to the right of the door was missing entirely and is to be replicated using the left hand side as a template.

The decorative timber paneling to the wall shared with Room G1 appears intact though some warping is evident which may be due to the presence of dry rot therefore it is proposed that the paneling be removed to enable the extent of damage to be assessed and suitable repairs/replacement carried out as required.

The plaster above the paneling appears to be in fair condition though further inspection will be required to evaluate the loss of bond created by the removal of the ceiling and also to further assess the extent of the spread of rot.

The wall shared with Room G2 is plastered and it is unclear whether it originally had paneling matching that opposite, there is a small area of paneling around what is assumed to be a former doorway into Room G2, whilst this is likely there is no record or evidence of it being so however the intention is to replicate the paneling to mirror that on the opposing wall.

The plaster appears to be in fair condition though further inspection will be required to evaluate the loss of bond created by the removal of the ceiling and also to further assess the extent of the spread of rot.

The decorative timber paneling to the left of the door is intact whilst the paneling to the right is missing a number of the panels and is generally in poor condition with a number of areas of damage due to rot, including to the door frame through to Room G1, the proposal is to remove this paneling to assess the extent of the rot infestation and to enable repairs and refurbishment to be carried out.

The main entrance door and decorative panel above are to be retained and refurbished, it was noted that there is evidence of rot to the decorative panel.

The plaster above the main entrance appears to be in poor condition though further inspection will be required to evaluate the loss of bond created by the removal of the ceiling and also to further assess the extent of the spread of the rot .

The floor is a combination of original and replacement floorboards, assumed replacement during the 2015/16 refurbishment. A number have been found to infested with rot and have been removed to be replaced with suitable matching replacements.





*Photos 47 & 48 - Entrance Hall doorway leading to Room F5 – Rot to door surround.*



*Photos 49 & 50 – Warping to wall paneling due to presence of dry rot, missing paneling to opposite wall.*



*Photos 51 & 52- Entrance Hall – Rot within paneling to right of Main Entrance door surround and evident in feature paneling above door.*

## 2.5 – Room G3 (Proposed Kitchen Diner – Unit 1)

Upon stripping the roof above it was evident that extensive rot was present within the ceiling timbers, this combined with requirement to expose the rotten timber beam between this room and G2 meant that the plaster to the ceiling had to be removed to enable repair to the ceiling timbers and temporary propping to the timber beam.

The timber beam was found to be infested with dry rot, an issue that appears to have been historical as previous attempts at reinforcing are evident including the use of diagonal tie bars set into the timber and also the introduction of the brickwork wall below within the former opening which appears to have modification to the room layout to provide additional support to this beam.

The timber to the beam has completely rotted away at the end nearest Room G7 and will require replacing, a steel beam is to be inserted as shown on Datrys drawing SK02 in Appendix C.

The timber stud work to the modern addition lobby was found to be infested with dry rot, probably spreading from the aforementioned beam, and has been removed entirely.

The modern gypsum plaster to the walls was found to be cracked and in places damp and friable and was therefore largely removed. Missing and damaged sections to the ceiling and atrium architrave are to – reinstated like for like.

The timber pilasters and plaster frieze to the bay window were removed for protection and will be refurbished prior to reinstatement.

The double doors to the North of the room and side paneling have been protected and left insitu and will be refurbished at a later date.

The floor is concrete with a visqueen membrane evident indicating that the floor was laid in the 1980's or later.

### Proposed Modifications

It is proposed that the later addition wall between this room and Room G2 be removed as indicated on the floor plan.

The door opening between this room and Room G7 is to be partitioned as indicated on the floor plan to provide a more robust partition between the adjoining dwelling. The partition will constitute retaining the existing door and architrave in Room G3 with a timber stud and acoustic boarding between this room and G7, the outline of the door opening will be indicated on the wall in G7 by retaining the original architrave.



*Photo 53 - Room G3 – Replacement of rotten timber box gutter.*



*Photos 54 to 57 - Room G3 – Rot to supporting beam between this room and G2 with corrosion to previous diagonal steel bracing bars.*



*Photo 58 - Room G3 - Splicing, bracing and replacement of rotten roof and ceiling timbers.*



Photos 59 & 60 - Room G7 – Failure of timber lintel to doorway through to Room G3 due to rot.

## 2.6 – Room G4 (Proposed Lounge – Unit 1)

The plasterwork in this room was found to be in poor condition, it is evident that water penetration through the defective roof and wall rendering have been absorbed into the plasterwork throughout causing it to degrade and fail. The plasterwork to the walls was blown, cracked and loose and in areas found to holding damp, as such it was therefore removed to be replastered at a later date.

It is evident that this room is a later addition in the progressive remodeling of the building as the original side window surround is evident within the stonework where the door into Room G1 is currently located.

The plaster to the ceiling was damp in places sagging and coming away, upon stripping the roof above some of the ceiling timbers were observed to be saturated with wet rot evident and some timbers in need of repair, to facilitate this the ceiling plaster was removed, rotten sections of timber cut out and splice repaired. The ceiling is to be lathe and plastered at a later date. Missing and damaged sections to the ceiling and atrium architrave are to be reinstated like for like.

The timber lintel to the door leading to Room G5 was rotten and failed, leading to collapse of the stonework above, the lintel was replaced with PCC and the stonework reinstated.

Some floorboards were missing with others found to rotten, to facilitate inspection of the underlying floor structure and its condition the floorboards were numbered, lifted and placed in secure storage.

Skirtings were found to be rotten and will be replaced to match the original profile, plain rectangular section with a pencil rounded leading arris.

The decorative plaster feature band above the bay window W01 has been carefully removed and will be reinstated.

The timber surround around the recess to window W18 remains insitu and will be refurbished.

The double doors through into Room G1 together with the side paneling and frame are to be carefully removed and inspected as there is evidence of dry rot in this location , then repaired and refurbished prior to reinstatement at a later date.

Proposed Modifications

The door opening between this room and Room G5 is to be partitioned as indicated on the floor plan to provide a more robust party wall. The partitioning will constitute retaining the existing door and architrave in Room G4 with a timber stud and acoustic boarding between this room and G5, the outline of the door opening will be indicated on the wall in G5 by retaining the original architrave.

The opening in the non-original brick chimney breast is to be infilled.



*Photo 61 - Room G4 – Replacement of rotten timber box gutter.*



*Photos 62 & 63 - Room G4 - Splicing, bracing and replacement of rotten roof and ceiling timbers.*

## 2.7 – Room G5 (Proposed Kitchen – Unit 1)

The plaster to parts of the ceiling has been previously removed to carry of repairs to rotten timber joists and floorboards to the room above, the remainder was found to be cracked and lacking bond and has been removed to be boarded out and re-plastered at a later date.

The plaster to the walls was in poor condition with some areas having de-bonded and fallen away, the remainder was found to be damp and friable and has been removed to be boarded out and re-plastered at a later date.

The concrete skirtings were found to be damp and friable and will be replaced with timber to match the original profile, plain rectangular section with a pencil rounded leading arris.

The door through to room G6 has been removed and taken to a specialist subcontractor for repairs and refurbishment to be used elsewhere as this door opening is to be infilled as part of the division of the property.

The timber lintels to the opening leading to Room G6 are decayed through rot and will need to be replaced.

A former opening, possibly a serving hatch, through into Room G1 has been blocked up, assumed as part of the 2015/16 refurbishment works, leaving the original timber lintel still in place, due to dry rot this will require removal.

The modern sink and sink unit have been removed. There was no door or surround within the opening to Room G8.

The original pantry dividing wall remains intact, the louvres to the top appear in good condition, some of the glazing panels are damaged and a specialist sub-contractor will be employed to remove the paint from the glazing and replace the damaged glass together with undertaking any other repairs that may be required.

The quarry tiled floor is intact though a number are cracked, it is proposed to carefully take up the quarry tiles and re-lay them, where possible cracked tiles will be repaired, if not suitable matching replacements will be sourced, tiles to be cleaned and buffed once re-laid.

### Proposed Modifications

The external door D07 is to be removed and the opening infilled.

Remove the poor quality brickwork to the chimney and reform the original opening through into Room G8.



*Photo 64 - Room G5 -Rot to lintel over opening leading to Room G6, previous use of expanding foam evident, purpose unknown.*



Photo 65 - Room G5 – Rot to lintel over infilled opening into Room G1.

### 2.8 – Room G5a (Proposed Pantry – Unit 1)

The plaster to the ceiling has been previously removed to carry of repairs to rotten timber joists to be boarded out and re-plastered at a later date.

The plaster to the walls is intact but requires replacement and will be removed, boarded out and re-plastered. The stringing line of the original staircase is evident on the rear wall.

The door to the pantry had been removed and was located within the pantry, it will be for repairs and refurbishment by a specialist sub-contractor prior to being reinstated at a later date.

The quarry tiles to the floor are to lifted and re-laid in conjunction with those in Room 5.

### 2.9 – Room G6 (Proposed Ground Floor Stairwell – Unit 1)

The original Victorian floor tiling is to be retained and will be cleaned and buffed.

The staircase has been boxed in and protected during the works and will be refurbished prior to completion.

Beneath the staircase is the remains of a wall, it unclear as to what part of the original structure this wall belonged to.

The plaster to the ceiling was partially missing, the remainder being cracked and was removed entirely.

The plaster to walls throughout was severely damaged due to water penetration through the failed tower valley box gutters and has been removed to be boarded out and re-plastered at a later date.

Dado rails were found to be rotten and will be replaced to match originals.

Within the exposed wall underneath the stairs is an infilled doorway with brick arched head, as the stairs partially cover this old doorway it is evidence in conjunction with the remains of the wall below the stairs that the staircase was constructed as part of previous re-modelling of the property.

This is borne out by the opening exposed above the quarter landing which is the opening for the original staircase indicated by the stringing line in the pantry.

There are external quoin stones evident within Room 8 so it is assumed that the door opening evident under the stairs was one the rear entrance to the property prior to subsequent extension works.

#### Proposed Modifications

It is proposed to utilise the area below the staircase to provide a downstairs WC..

### 2.10 – Room G7 (Proposed Dining – Unit 1)

The plasterboard to the ceiling had been previously removed completely, assumed as part of the 2015/1 refurbishment works and will be boarded out and re-plastered at a later date, the retained plaster architrave will be repaired as required.

The gypsum carlite plaster to the walls had been previously patch repaired and was found to be damp and friable and was removed and will be boarded out and re-plastered at a later date. The plaster busts to the timber ceiling arch corbels have been retained.

Skirtings were found to be rotten and will be replaced to match the original profile, plain rectangular section with a pencil rounded leading arris.

The door through to room G6 has been removed and taken to a specialist subcontractor for repairs and refurbishment to be used elsewhere as this door opening is to be infilled as part of the division of the property.

There is rot present in both of ceiling arches above the partition wall to Room 10, this will require treatment and repair.

The floor is concrete throughout.

#### Proposed Modifications

The steps leading up to Room G3 are to be replaced and the rotten timber lintel replaced.

The unstable non-original non-supporting partition wall between this room and Room G10 is to be removed and replaced with a loadbearing masonry wall, this will supersede the Datrys provisional recommendation to insert a steel beam under the braced timber beams as shown on drawing SK04 in Appendix C, this will be subject to further inspection of the timbers once the brick wall is removed.



*Photos 66 & 67 - Room G7 – Rot to feature arch over later addition brick wall.*





Photo 68 - Room G7 – Rot to lintel over opening leading to Room G6.



Photos 69 & 70 - Room G11 – Rot to frame of roof light requiring removal to enable repairs to be carried out.

## 2.11 – Room G8 (Proposed Kitchen/Dining – Unit 2)

The plaster boarded ceiling to this room was damp and water stained with boards found to be sagging and has been removed completely and will be boarded out and re-plastered at a later date.

Plaster to the wall between this room and G5 had already had the majority of the plaster removed and upon removing the thick textured wallpaper to the other walls the plaster here was found to be blown and coming away with the wallpaper so was removed here also to be boarded out and re-plastered at a later date.

The concrete skirtings were damp and friable and have been removed to be replaced with timber match the original profile, plain rectangular section with a pencil rounded leading arris.

Door frames and architraves were found to be rotten and will be replaced to match original profiles.

A number of the exposed floor joists above were seen to have rot to the bearing ends and have been trimmed back to remove the rotten sections and temporary propping inserted until such time as splice repairs are carried out.

The timber lintels to window W15 are rotten and will have to be replaced.

The quarry tiled floor is intact and it is proposed to carefully take up the quarry tiles and re-lay them, tiles to be cleaned and buffed once re-laid.

The timber mantle above the feature fireplace has been removed together with the textured paint coating to expose the original masonry which will be re-pointed and any necessary repairs or remedial work carried out.

Proposed Modifications

It is proposed to remove the later addition lobby to the entrance.

The door openings between this room and Rooms G5 & G12 are to be infilled as indicated on the floor plan.



*Photo 71 - Room G8 – Rot to ends of floor joists cut out and temporary supported until repair can be carried out.*



*Photo 72 - Room G8 – Rot to lintels above window W15.*



*Photo 73 – Room G8 – Brick infill to original arched entrance.*

### **2.12 – Room G9 (Proposed Stairwell – Unit 2)**

The plaster to the walls was found to be damp with a loss of bond and was removed to be re-plastered at a later date.

The concrete floor is to be retained.

The staircase is to be made safe and refurbished.

### **2.13 – Room G10 (Proposed Snug/Study – Unit 2)**

The majority of the plaster to the ceiling had been removed previously, assumed as part of the 2015/16 refurbishment and likely to be due to water penetration through the failed valley gutters. The remainder was removed to be boarded out and re-plastered at a later date.

The plaster to the walls had been previously patch repaired and was found to be damp and friable and was removed and will be boarded out and re-plastered at a later date.

Skirtings were found to be rotten and will be replaced to match the original profile, plain rectangular section with a pencil rounded leading arris.

The ceiling roof lights are to be retained and refurbished, one has had to be removed due to the presence of rot within the surrounding timbers.

The timber arches extend over from Room G7 but there are no plaster busts below the corbels in this room, it is highly likely that originally busts did exist but were removed as part of previous intervention, probably the introduction of the corridor down to Rooms G15 & G16.

#### **Proposed Modifications**

The partition wall between this room and Room G7 is to be removed and replaced as per the previous notes on Room G7.

Construction of a shower room within Room G10 is proposed to service the G13 Bedroom and also provide downstairs toilet facilities.

### **2.14 – Room G11 (Corridor) (Proposed Storage & WC – Unit 3)**

The ceiling plaster was found to be damp, blown and sagging in places and was removed to be boarded out and re-plastered at a later date.

On removal of the plaster to the ceiling the exposed floor joists were found to be rotten and have been replaced throughout.

The plaster to the walls had been previously patch repaired and was found to be damp and friable and was removed and will be boarded out and re-plastered at a later date.

Skirtings were found to be rotten and will be replaced to match the original profile, plain rectangular section with a pencil rounded leading arris.

### Proposed Modifications

The later addition brick wall dividing Room G11 from Room G12 is to be removed with both openings into G12 infilled. The remaining section of the corridor leading into Room G15 is to become a WC servicing the G15 Bedroom.

A door frame to be added at the G15 end of the corridor and a reclaimed door in keeping with those elsewhere to be sourced and fixed.

### 2.15 – Room G12 & Porch (Proposed Hallway, Pantry & Plant Room – Unit 3)

The modern plasterboard to the ceiling has been removed exposing what appears to be a new floor construction assumed to be part of the 2005 renovation to the rear of the house.

The plain rectangular concrete skirtings were crazed and friable and have been removed to be replaced by a similar profiled timber skirting.

Modern vinyl floor tiles over the concrete floor have been taken up and disposed of as part of the asbestos removal works.

The existing staircase is to be refurbished.

### Proposed Modifications

The opening between Room G12 and the porch is to be narrowed and a door frame added and a reclaimed door in keeping with those elsewhere to be sourced and fixed.

The partition wall between Room G12 and G11 Corridor is to be removed to create a large open storage area, the openings from G11 Corridor to be infilled as previously described.

### 2.16 – Room G13 (Proposed Bedroom 3 – Unit 2)

The ceiling plaster was found to be damp and, blown and was removed to be boarded out and re-plastered at a later date.

The plaster to the walls was found to be similarly damp with a lack of bond and was also removed to be re-plastered at a later date.

Skirtings have been removed and will be refurbished and reinstated.

The modern sink and kitchen cupboards have been removed.

### **2.17 – Room G14 (Proposed Kitchen – Unit 3)**

The ceiling plaster was found to be damp, blown and sagging in places and was removed to be boarded out and re-plastered at a later date, plastering between floor joists above.

Removal of the ceiling plaster has revealed an original oak beam which has been shaped presumably to facilitate storage of a horse drawn carriage or buggy back when this room was a coach store.

The plaster to the walls was found to be similarly damp with a lack of bond and was also removed to be re-plastered at a later date.

Removal of the plaster has revealed the original stone arch to the coach store entrance together with a doorway through into Room G18 which had previously been infilled.

The modern sink and kitchen units have been removed.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match those generally through the Ground Floor.

### **2.18 – Room G15 (Proposed Bedroom 3 – Unit 3)**

The ceiling is plastered between the floor joists exposing the modern floor construction above, assumed to be part of the 1980's renovation works.

The plaster to the walls was found to be damp with a lack of bond and was also removed to be re-plastered at a later date.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match those generally through the Ground Floor.

The quarry tiled floor will remain in situ to be covered by the retrofit floor heating system.

#### **Proposed Modifications**

The partition wall between this room and the G11 Corridor is to be removed together with the door opening at the end of that corridor which is to be infilled, the original door opening is to be reinstated centrally in the wall between this room and Room G16 and a reclaimed door in keeping with those elsewhere to be sourced and fixed.

### **2.19 – Room G16 (Proposed En-Suite – Unit 3)**

The ceiling is plastered between the floor joists exposing the modern floor construction above, assumed to be part of the 1980's renovation works.

The plaster to the walls was found to be damp with a lack of bond and was removed to be re-plastered at a later date.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match those generally through the Ground Floor.

The existing staircase is in good condition.

### **2.20 – Room G17 (Proposed Dining – Unit 3)**

The ceiling is plastered between the floor joists exposing the modern floor construction above, assumed to be part of the 1980's renovation works.

The cement plaster to the walls remains insitu but will be replaced with lime plaster.

No skirtings were present, new skirting with plain rectangular with pencil rounded arris to match those generally through the Ground Floor will be fitted

#### **Proposed Modifications**

The existing window opening to the North elevation is to be reinstated as an external door opening.

### **2.21 – Room G18 (Proposed Living Room – Unit 3)**

The ceiling is plastered between the floor joists exposing the modern floor construction above, assumed to be part of the 1980's renovation works.

The bare walls will be plastered at a later date and a skirting added to run through from Room G17

The concrete floor is in good condition and to be retained.

## First Floor

### 2.22 – Room F1 (Proposed Bedroom 1 – Unit 1)

Following repair of the roof the ceiling has, with the exception of the bay window, been boarded out and re-plastered. The roof had previously been replaced as part of the 1980 refurbishment works with the ceiling being plasterboarded throughout.

The plaster to the solid walls was found to be partially missing with areas of damp, friable plaster found throughout and was removed and has been re-plastered.

The modern stud wall between this room and Room F2 was removed, replaced.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match the originals.

The tiled fire surround was protected during works and is to be cleaned and refurbished by a specialist sub-contractor at a later date.

The timber floorboards are to be retained, any found to be rotten or damaged are to be replaced with suitable matching replacements.

Other than stripping out and replacement of the modern stud partition no works to the bay window area has been undertaken subject to underpinning works and remedial tying of the walls has been carried out.

#### Proposed Modifications

Conversion of the bay window space to an en-suite facility as indicated on the floor plan.

### 2.23 – Room F2 (Proposed Bedroom 3 – Unit 1)

Following repair of the roof the ceiling has, with the exception of the bay window, been boarded out and re-plastered. The roof had previously been replaced as part of the 1980 refurbishment works with the ceiling being plasterboarded throughout.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match the originals.

The timber floorboards are to be retained, any found to be rotten or damaged are to be replaced with suitable matching replacements.

Other than stripping out no works to the bay window area is to be undertaken until underpinning works and remedial tying of the walls has been carried out.

The timber and glazed paneling to the entrance to the room is to be retained and will be refurbished, the double doors have been removed for refurbishment by a specialist sub-contractor and will be reinstated.

### **2.24 – Room F3 (Proposed Bedroom 4 – Unit 1)**

Following repair of the roof the ceiling has, with the exception of the bay window, been boarded out and re-plastered. The roof had previously been replaced as part of the 1980 refurbishment works with the ceiling being plasterboarded throughout.

The plaster to the solid walls was found to be partially missing with areas of damp, friable plaster found throughout, the wall between this room and Room F6 has been re-plastered.

The external wall to the North elevation has been partially studded out, once completed it will be boarded out and re-plastered following replacement of the rotten supporting timber beam below.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match the originals.

The tiled fire surround was protected during works and is to be cleaned and refurbished by a specialist sub-contractor at a later date.

Other than replacement of the modern stud partition no works to the bay window area has been undertaken subject to underpinning works and remedial tying of the walls has been carried out.

#### **Proposed Modifications**

Conversion of the bay window space to an en-suite facility as indicated on the floor plan.

### **2.25 – Room F4 (Proposed Bedroom 2 – Unit 1)**

The plasterboard to the ceiling was found to be blown and sagging in places and has been removed, repairs to rotten roof timbers have been carried out, the ceiling is to be boarded out and re-plastered at a later date.

The plaster to the walls was similarly found to be damp and friable and has also been removed to be re-plastered at a later date.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match the originals.

The timber floorboards which were replaced as, it is assumed, the 2015/16 refurbishment works are to be retained, any found to be rotten or damaged are to be replaced with suitable matching replacements.

The existing WC, wash basin and associated plumbing have been removed together with the later addition airing cupboard.

The void through into the staircase is to be infilled.

#### **Proposed Modifications**

Stud walls are to be built to create an en-suite as indicated on the floor plan, door to be reclaimed to match style of existing doors in the property.



## **2.26 – Room F5 (Staircase Landing – Unit 1)**

The plaster to the ceiling was found to be damp and blown and has been removed and after repairs to the roof has been boarded out and re-plastered.

The plaster to the walls was similarly damp and blown and has been removed to be re-plastered at a later date.

The timber feature pilasters to the sides of the entrance leading up to the lobby to Rooms F1, F2 & F3 have been removed to be refurbished and reinstated, this area seems to be the central location for the outbreaks of dry rot.

Skirtings and dado rails were found to be rotten and will be replaced to match originals.

The timber floorboards which were replaced as, it is assumed, the 2015/16 refurbishment works are to be retained, any found to be rotten or damaged are to be replaced with suitable matching replacements.

The cupboard void above the entrance that formerly housed a water storage tank together with the cupboard doors remains.

The timber lintels to the opening to Rooms F4 & F6 are rotten and need to be replaced.

### **Proposed Modifications**

Stud walls are to be built to create an en-suite as indicated on the floor plan, door to be reclaimed to match style of existing doors in the property.

## **2.27 – Room F6 (Proposed Bedroom 3 – Unit 1)**

There had been repairs carried out to the ceiling plaster but it was found to be in poor condition with damp throughout and loose blown sections, the plaster was removed and has been boarded out and re-plastered.

The plaster to the walls was missing in places with the remainder being damp and friable, the plaster has been removed and the walls boarded ready for re-plastering.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match the originals.

The timber floorboards are to be retained, any found to be rotten or damaged are to be replaced with suitable matching replacements.

The timber paneling below and above the window has been removed for refurbishment to be reinstated.

### **Proposed Modifications**

Stud walls are to be built to create an en-suite as indicated on the floor plan, door to be reclaimed to match style of existing doors in the property.

### **2.28 – Room F7 (Proposed Bedroom 2 – Unit 2)**

Room in good condition, no works proposed.

### **2.29 – Room F8 (Proposed Bedroom 1 – Unit 2)**

The ends of a number of floor joists have been found to be rotten, see also Room G8, and will require repair.

### **2.30 – Room F9 (Existing Stair Landing – Unit 2)**

The plaster to the ceiling and walls was found to be damp with a loss of bond and was removed to be boarded out and re-plastered at a later date.

### **2.31 – Room F10 (Existing Store Room – Unit 2)**

The plaster to the ceiling and walls was found to be damp with a loss of bond and was removed to be boarded out and re-plastered at a later date.

The skirting was missing and will be reinstated with a plain rectangular skirting with pencil rounded arris to match those elsewhere.

The floorboards were found to be modern and it is assumed they were replaced as part of 1980's refurbishment.

### **2.32 – Room F11 (Existing Bedroom 3 – Unit 3)**

The skirting in this room was found to be beyond repair and will be replaced with a plain rectangular skirting with pencil rounded arris to match the original.

The floorboards were found to be modern and it is assumed they were replaced as part of 1980's refurbishment.

### **2.33 – Room F12 (Existing Staircase Landing – Unit 3)**

The plaster to both the ceiling and walls was found to be damp and blown in this room and was removed.

The skirting was rotten and will be replaced with a plain rectangular skirting with pencil rounded arris to match the original.

### **2.34 – Room F13 (Existing Bathroom – Unit 3)**

Patch repairs to the ceiling and wall plaster will be carried out as required.

The existing stud wall dividing this room from Room 11 and the ceiling timbers were removed to facilitate lowering the ceiling and have been re-constructed, the walls are to be boarded and plastered at a later date.

The floorboards were found to be modern and it is assumed they were replaced as part of 1980's refurbishment.

### **2.35 – Room F14 (Proposed Sitting Room – Unit 3)**

Patch repairs to the ceiling and wall plaster will be carried out as required following roof repairs.

Skirtings were found to be rotten and will be replaced with plain rectangular with pencil rounded arris to match the originals.

The floorboards were found to be modern and it is assumed they were replaced as part of 1980's refurbishment.

### **2.36 – Room F15 (Proposed Bedroom 1 En-Suite – Unit 3)**

Patch repairs to the ceiling and wall plaster will be carried out as required.

The skirting was missing and will be replaced with a plain rectangular skirting with pencil rounded arris to match the original.

The toilet and wash basin have been removed.

The floorboards were found to be modern and it is assumed they were replaced as part of 1980's refurbishment.

During the re-roofing works the roof light was found to be rotten and has been replaced.

The original purlins have been retained and will be treated.

A new door and frame to be provided through to Room F15 in keeping with those elsewhere in the property.

### **2.37 – Room F16 (Proposed Bedroom Dressing Room – Unit 3)**

Patch repairs to the ceiling and wall plaster will be carried out as required.

The skirting was missing and will be replaced with a plain rectangular skirting with pencil rounded arris to match the original.

The floorboards were found to be modern and it is assumed they were replaced as part of 1980's refurbishment.

During the re-roofing works the roof light was found to be rotten and has been replaced.

The original purlins have been retained and will be treated.

A new door and frame to be provided through to Room F16 in keeping with those elsewhere in the property.

### **2.38 – Room F17 (Proposed Bedroom 1 – Unit 3)**

Patch repairs to the ceiling and wall plaster will be carried out as required.

The skirting was missing and will be replaced with a plain rectangular skirting with pencil rounded arris to match the original.

The floorboards were found to be modern and it is assumed they were replaced as part of 1980's refurbishment.

The original purlins have been retained and will be treated.

### **2.39 – Room F18 (Proposed Bedroom 2 – Unit 3)**

The ceiling has been boarded out and plastered leaving the original purlins exposed.

The walls have been plastered.

A plain rectangular skirting with pencil rounded arris is to be introduced.

## **3.0 – External Works**

### **3.1 – Low Level Feature Wall**

This wall which extends in front of the East elevation and wraps around to return onto the North and South elevations and will be repaired and reinstated to match the original construction style once all necessary excavations for underpinning and utilities have been completed.

### **3.2 – Site Entrance**

The existing entrance gates to the site are close to the A4080 leaving minimal safe room for vehicles turning off the highway prior to opening the gates, as such it is intended to set the gates further back along the drive, extending the flanking walls from the existing gateposts to a pair of new gateposts to match identically the existing but to a slightly larger scale.

Exiting the site there is a restricted view of traffic approaching from the South West on the A4080 due to the height of the existing wall, it is the intention to adjust the height to provide a clear line of vision to approaching traffic for vehicles exiting the site.

## 4.0 – Rear Boundary Wall

Further to carrying out a survey, it is evident that sections of the existing wall have been dislodged by excess vegetation and tree growth on the estate side of the wall. The damage caused by the growth and vegetation have led to the deterioration and collapse and has probably been confounded by livestock kicking the walling down to gain access to pasture. This is due to the fact that parts of the wall have had fencing and barriers put in place to keep livestock out.

The following survey has split the wall into sections where damage and stabilisation works are needed and these will vary.

If at all possible, we will not remove any section of wall that can be saved. This is will only be achievable by the findings when we have removed defective areas.

From the corner nearest the House I have broken it down into sections A-H to the corner where the electric pylon stands and the wall returns over the culvert up to the stream to the far right. From the corner at the electric pylon to the stream into sections J-N.

There is an obvious line where the stone changes colour on the parts that are standing and the top section looks as though it is an add on possibly at some stage to add height to the wall. It is to be agreed whether we build to the current height which is approx.. 2 meters or we lower and reinstate the wall to 1.4 meters and add the Copings above this.

There are piles of walling material and Cock and Hen Copings in front of the wall that will be re-used. Quantities are unknown and unless stone has been taken away it should hopefully represent what has been displaced.

### 4.1 – Section A

Approximately 4 meters x 2 meters high.

This section is currently standing but seems to be bowed and leaning slightly.

Until all the vegetation is removed and access is better this can be reassessed.

There is extensive vegetation and trees to the rear of this on the farmers side of the wall which will be sending their roots under and helping to destabilise and displace the existing wall.

The Cock and Hen top is still in place as it now stands.



## 4.2 – Section B

Approx. 6 meters long.

Take down the existing displaced wall and rebuild to the lower line of wall which may be the original height. Approx. 6m x 1.4 meters and reinstate Cock and Hen Copings.

This has been displaced and is in disrepair with the ground and vegetation being higher on the farmers side. If we are to install to the current height it would be approx.. 2 meters high. If we are to build this wall to the proposed original height it would be approx. 1.4 m high.

There is fencing in place which other parties have installed , I presume to help keep stock within the field behind.

There is walling lying to the house side where it has been pushed from behind either by trees and foliage or live stock.



## 4.3 – Section C

11.7 m x 2.1 meters high with Cock and Hen top intact.

This section is in pretty good condition and I would suggest removing the trees asap before they start to displace the existing walling.

Suggest taking the top section down to the original height where the stone colour changes approx. 1.4 meters high and replace the Cock and Hen copings.



#### 4.4 – Section D

Take down existing displaced walling. Approx. 5m x .7m.

This has been displaced and is in disrepair with the ground and vegetation being slightly higher on the farmers side. It is evident that the wall has been displaced on the house side by roots and live stock.

Walling lies on the floor in front of this section.

If we are to install to the proposed original line it would be approx. 5m x 1.4 and reinstate Cock and Hen copings.



#### 4.5 – Section E

Approx. 4.4m x 2m as it is currently.

This section is leaning badly and is pulling apart and appears to be unstable.

This has been displaced and is in disrepair with the ground and vegetation being slightly higher on the farmers side. It has also leaned possibly by the collapse of the wall either side leaving it vulnerable.

#### 4.6 – Section F

Approx. 8m x .6 currently

Take down existing displaced wall and rebuild to the lower line of wall which may be the original height.

Approx. 8m x 1.4 meters and reinstate Cock and Hen Copings. If not this will be 2 meters in height oif it is to be reinstated to the existing height.



This has been displaced and is in disrepair with the ground and trees / vegetation being higher on the farmers side. Livestock may of also been a factor with ethe collapse. If we are to install to the current height it would be approx.. 2 meters high.



#### 4.7 – Section G

Approx. 11m x 2m

This wall looks in quite good condition with the exception of the left hand side of the tree which seems to be leaning at the top newer section quite badly and also a light lean on the lower original section.

I would propose taking the newer top section down approx. 11m x .6 m and reinstating the Cock and Hen to the top.

worst case scenario : If the top section is removed and the left hand side of the tree lower section proves unstable then this would need to be rebuilt. Hopefully by removing the top it will stop it pulling it over.



#### 4.8 – Section H

Approx. 7m x 1.3

This looks to be in reasonable condition. the top approx.. 7mx 500mm have lost their bond could do with removing and rebuilding with mortar and adding the Cock and Hen copings to the top.



#### 4.9 – Section J

The left hand side from the top of the bank into the corner.

Option J1) Approx.2.5m x 1.2m. This looks to have spread and has been patched at some time further to being dislodged. This is evident from the construction I feel. Take down and re-build full section.

J2) This section can be left and the top 400mm could be dropped and consolidated with the Cock and Hen top added or the full little section dropped and rebuilt 2.5mx 1.4m as J1.



#### 4.10 – Section K

This runs from the left hand of the ditch bank to the right hand of the ditch.

Culvert run through arches 1,2 & 3, it is to be confirmed whether these are to be infilled solid at some stage ? There is vegetation hanging over the top of the wall the length of the ditch at the culverts. It looks as though that the Cock and Hen copings are on top and the wall and it seems in good condition to the right hand bank.

#### 4.11 – Section L

Approx 8lm x 2.1m.

Although at first glances this looks in relatively good condition , the left hand side of this section is leaning backwards and the right and section is leaning back.

This section is to be taken down and rebuilt 100% Approx. 8m x 1.7 re-instating and adding Cock and Hen copings.



#### 4.11 – Section M

Approx. 19lm in length.

This section is in various states of disrepair due to growth at the rear of the wall along with fencing / barriers that have been put in place due to livestock kicking down the wall to gain access.

It is also presumed that the natural run off ditch to the back of this wall has been infilled.

We feel that this section of existing wall is to be dropped and re-instated at 1.4 meters in height with the Cock and Hen copings to be added to the top of this. There is a crack at the end of this section which I would take down to at the right hand of section M and rebuild from there to the left hand of section M.



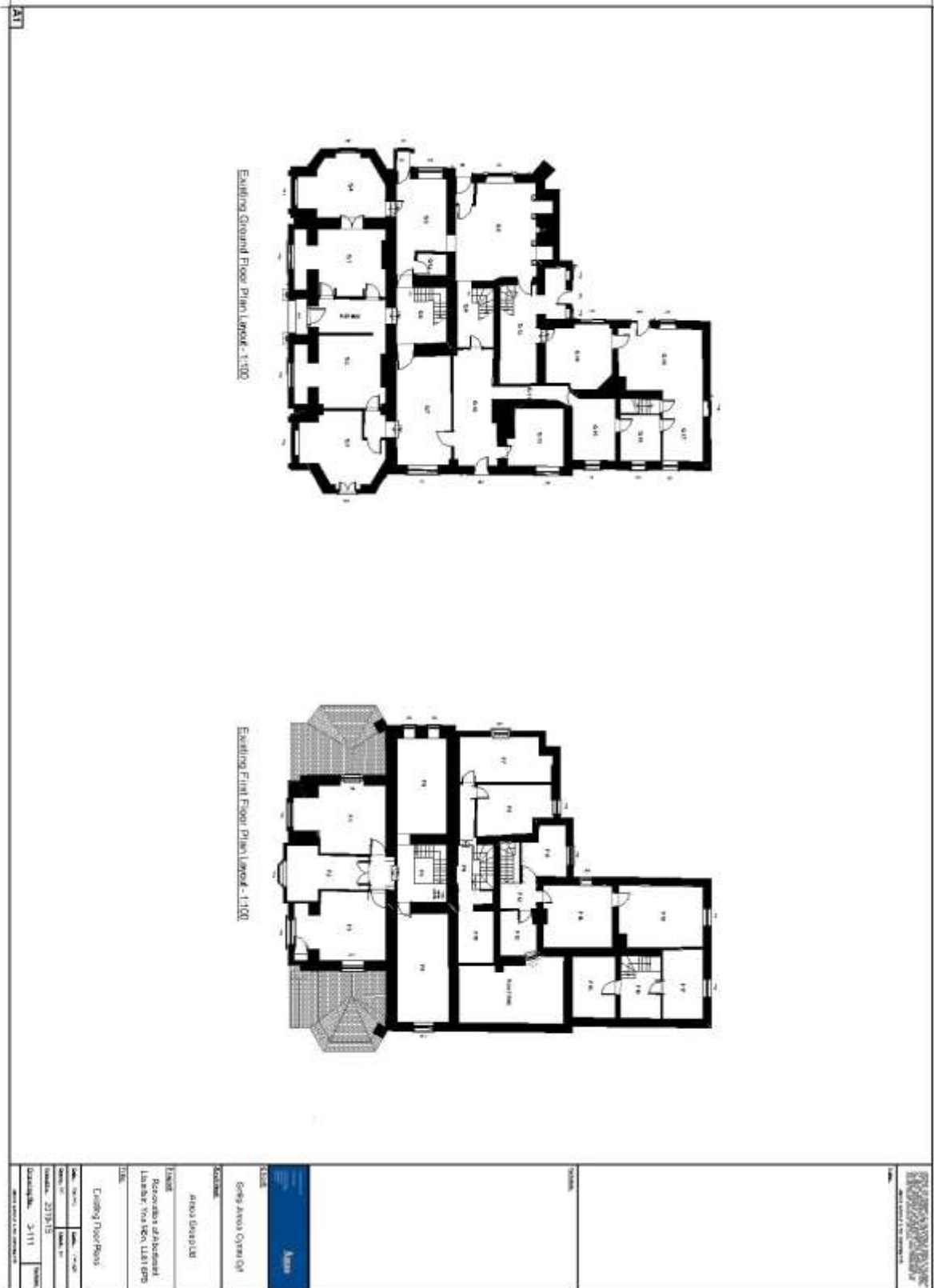


#### 4.12 – Section N

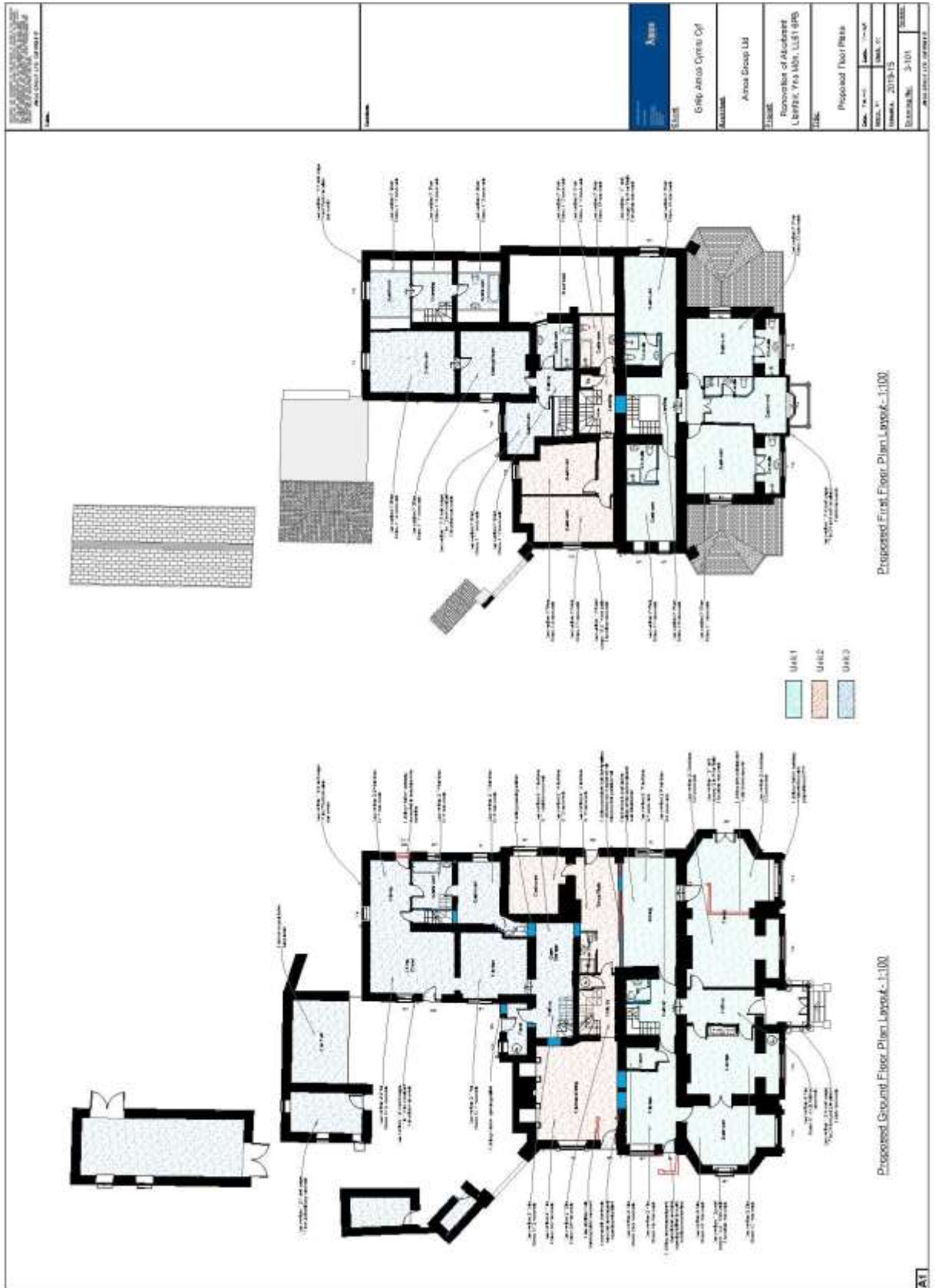
Runs from the crack at the left hand side of N up to the pier at the stream and past to the end over the arch to the other side of the stream.

This section seems in relatively good condition with the Cock and Hen copings in place and does not really need any remedial works unless we feel that the pier requires pointing.

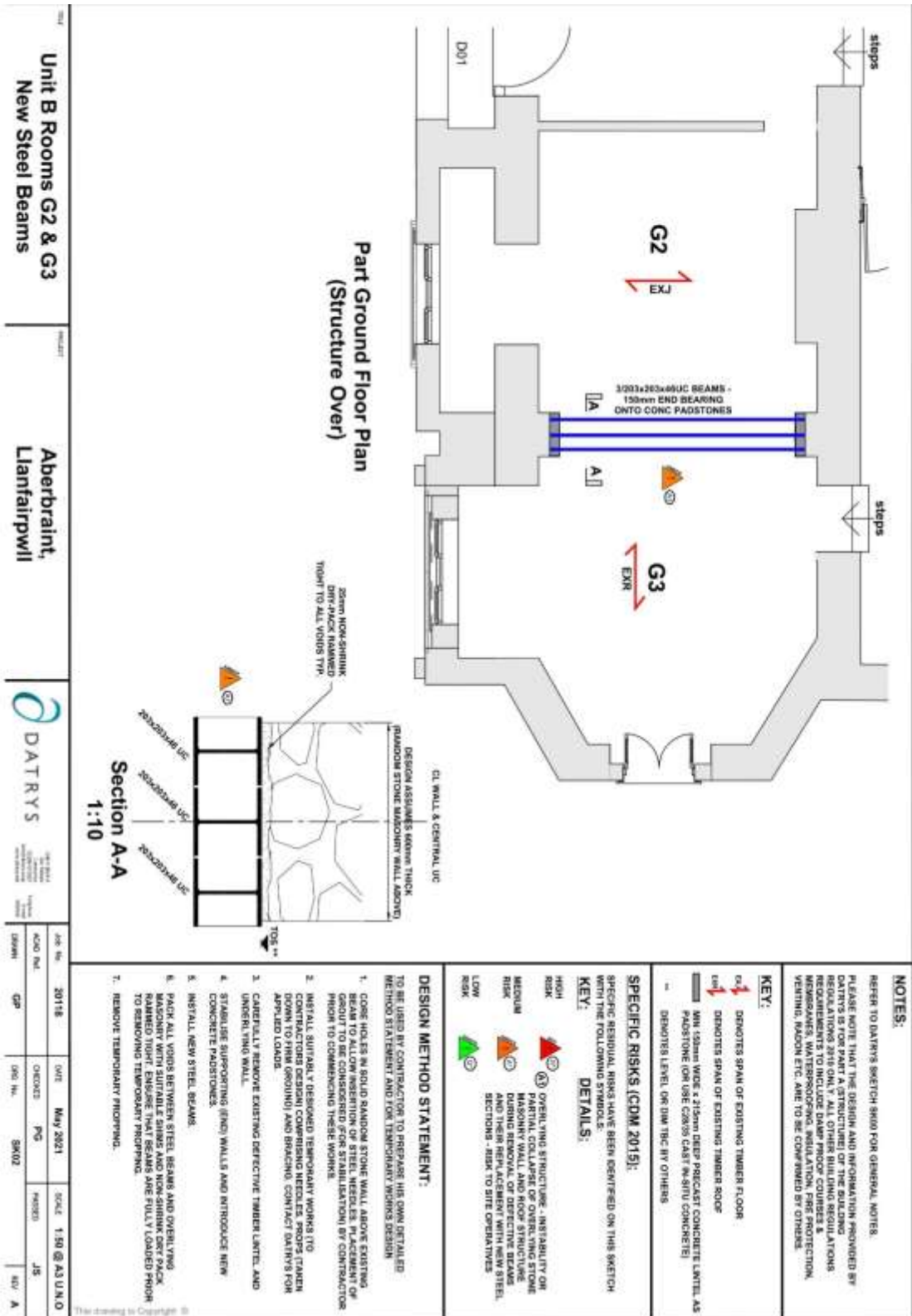
**Appendix A - Existing Floor Plans With Room References**

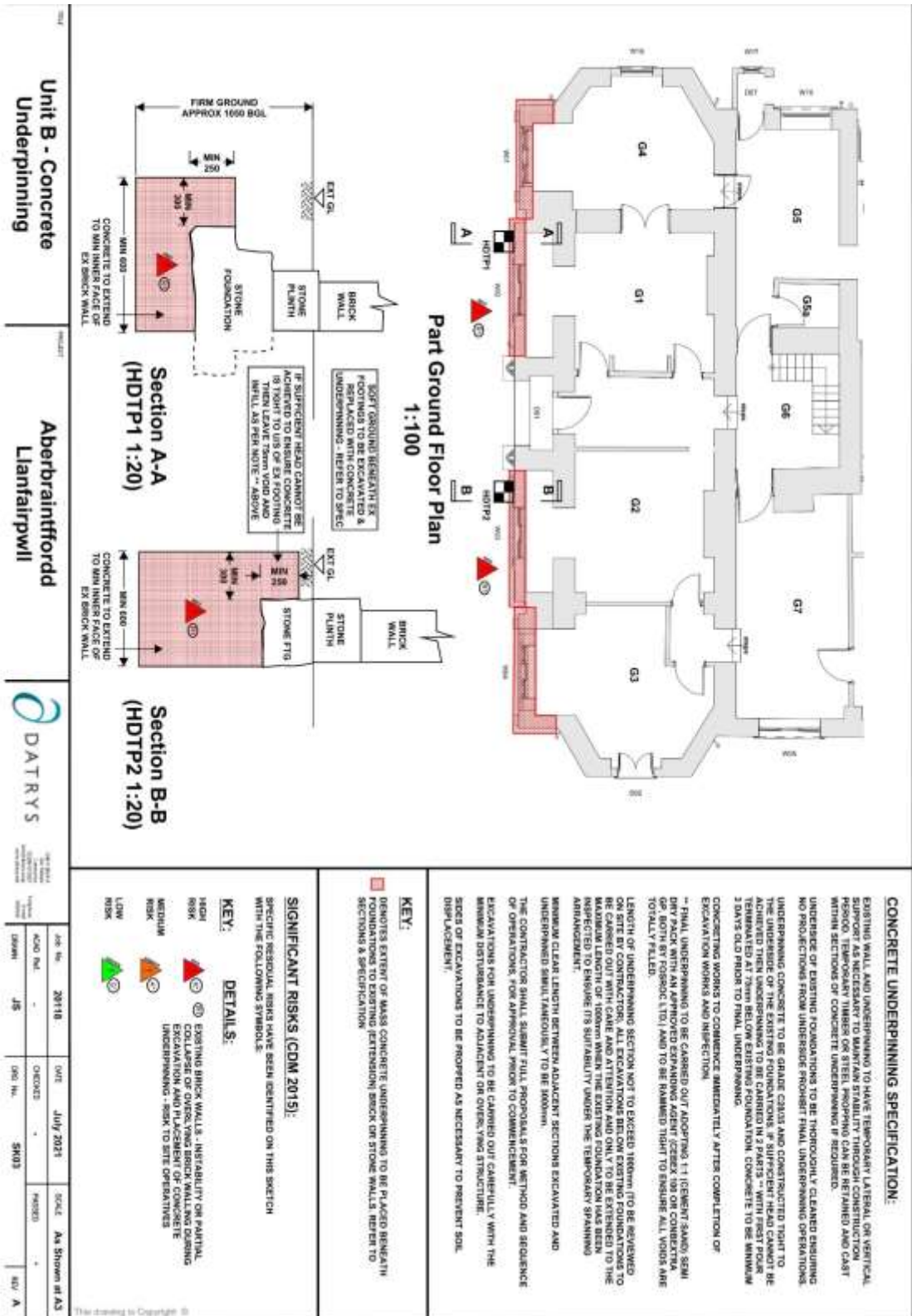


**Appendix B– Proposed Floor Plan Layouts**

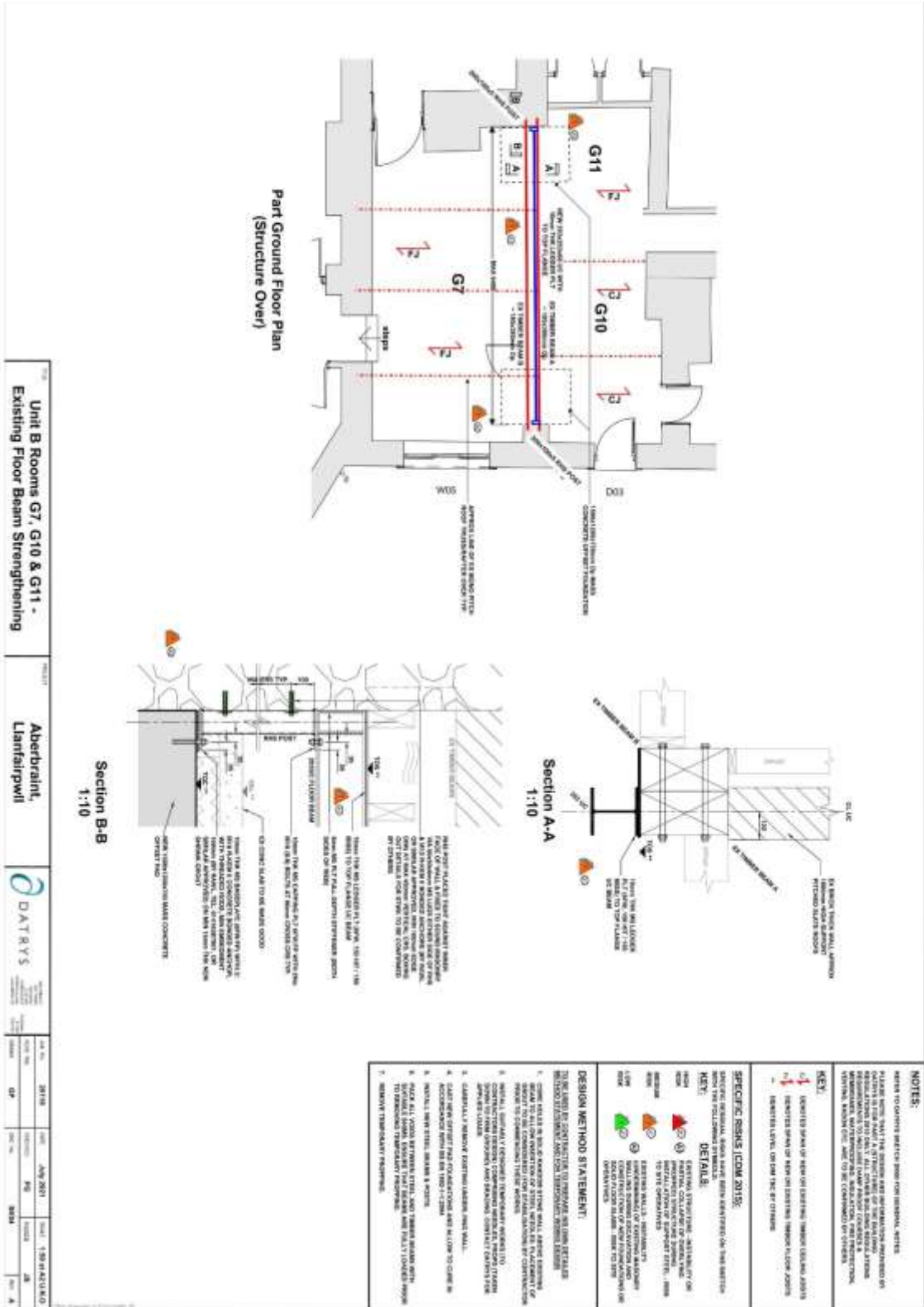


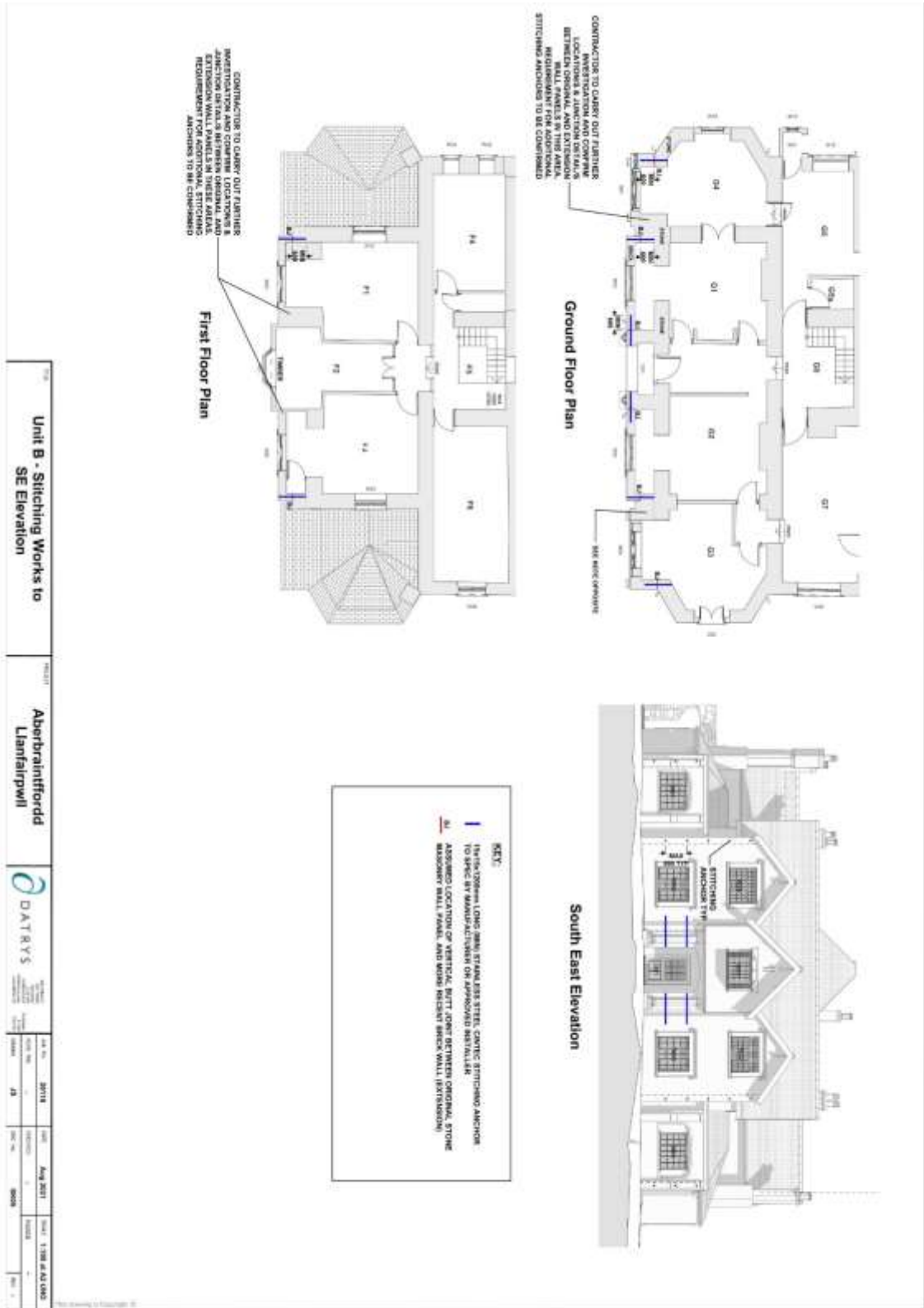
**Appendix C – Structural Engineers Drawings**











## Appendix D – Wet & Dry Rot Report



Inspection date: 18/12/2021  
Quotation No: 21/552  
Surveyor: Gareth Ellis, CSRT CSSW

To: AMOS Contracting Ltd. PO Box 8197, Ashbourne, DE6 9DY

Re: Aberbraint, Llanfairpwll, Ynys Môn, LL61 6PB

Instructions:

In accordance with your instructions received on the 10<sup>th</sup> of December 2021, our surveyor visited the above referenced property to carry out an examination of the Dry Rot affected areas and provide a quotation for the removal of the decayed timbers and wall irrigation treatments to eradicate the Dry Rot.

We hope that we have interpreted your instructions correctly, but if we have not then please contact us immediately for clarification.

Situations:

Situations are described facing the Front Elevation from the road.

Weather conditions:

Dry.

Observations:

This report should be read in conjunction with our previous Dry Rot reports on this property.

The areas affected by the True Dry Rot Fungus '*Serpula lacrymans*' are shown in RED on our attached plan.

Since our previous report there have been further outbreaks of fungal growth in other areas and the existing areas of decay have spread and cause more damage.

It is now a matter of urgency that Dry Rot eradication treatments are carried out to prevent further growth and damage.

There are areas of roof affected, widespread areas of decay at First Floor level in the walls and the floor timbers and the top of the main staircase. The large sections of timber beams that support the floors at First Floor level are affected and are to be removed. You should ask your own structural engineer to design steelwork to replace these.

At Ground Floor level there is widespread fungal growth, fruiting bodies and mycelium to the walls. All areas are marked in RED on our attached plan.

**DAMP MORTAR PROOFING • TIMBER PRESERVATION • CONDENSATION CONTROL**  
KIMBERLEY GULF IS A MEMBER OF THE PCA AND GUARANTEE PROTECTION INSURANCE LIMITED  
Email: [admin@kimberleygulf.co.uk](mailto:admin@kimberleygulf.co.uk) [www.kimberleygulf.co.uk](http://www.kimberleygulf.co.uk)

## Kimberley Gulf Limited

### Treatment Recommended:

Kimberley Gulf is to carry out the following Dry Rot Treatments:-

Remove plaster to 1 metre beyond evidence of fungal growth noted in the observations and shown on the attached plan in RED.

Clean, drill and irrigate with fungicidal fluid the exposed wall areas.

Cut out all of the Dry Rot affected timber and prop up the floors.

Once the strip out and treatments have been carried out your own joinery contractors and to re-instate all of the timbers. There is so much timber that need to be removed that we are currently unable to provide a cost for the replacement new timber.

Our Preparation and Re-plastering Specification is enclosed for your attention, which must be followed. Wall plaster must not be painted until at least 6 months when the plaster is visibly dry and not papered until after at least 12 months.

To accept this quotation please complete the attached acceptance form and forward to our office in order for us to schedule the works into our programme.

### Health & Safety:

A low odour water based masonry fungicidal sterilant with a 48 hour re-entry restriction will be used. Using 2-iodo-2-Propynyl-N-Butyl Carbamate as the active ingredient.

A odourless glycol-borate formulation based preservative, which has a 48 hour re-entry restriction (although of similar toxicity to common household salt) will be used.

An odourless Boron based preservative, which has a one hour re-entry restriction will be used.

The fungicidal paste or gel to be used will be given a mechanical barrier.

Please note that furnishings and floor coverings must be removed prior to our arrival and to be re-fitted by the client, we will require to be supplied with electricity and water on site. Plumbing and electrical items and equipment are to be removed, prior to our arrival, from wall faces to be treated. We will not take any responsibility for phone or internet cables within the treatment area, these should be removed prior to our arrival.

We take a deposit of 50% of the contract, prior to commencing work on site. Please make the payment, minimum 3 working days prior to commencement, we accept cheques, debit card payments or by BACS. Thank you.

Our Terms and Conditions can be viewed on our website.

## Kimberley Gulf Limited

Under the requirement of the CDM (Construction Design Management) Regulations 2015 the client is responsible for providing all of their contractors with an Asbestos register of the property prior to work starting and welfare facilities such as toilets, clean water and hand washing areas.

No allowance is made within our quotation for decorating which should not be considered until plaster has been given sufficient time to dry out. Water based emulsion paint may be applied when plaster is visibly dry, wall paper coverings should not be applied until at least 12 months.



Gareth Ellis, CSRT CSSW Dip.DEA P402  
Director.

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*Kimberley Gulf is a PCA registered company and we provide a twenty (20) year guarantee on remedial damp proof course works and timber treatments and, Waterproofing-Tanking works carries our ten (10) year guarantee. As members of the Guarantee Protection Insurance Co. Ltd., we can facilitate 10 years insurance cover if required at an additional cost.*

ENERGY PERFORMANCE CERTIFICATES • ASBESTOS SURVEYS  
DAMP/WATERPROOFING • TIMBER PRESERVATION • CONDENSATION CONTROL  
REMEDIAL WALL TIE INSTALLATION  
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Email: [admin@kimberleygulf.co.uk](mailto:admin@kimberleygulf.co.uk) [www.kimberleygulf.co.uk](http://www.kimberleygulf.co.uk)

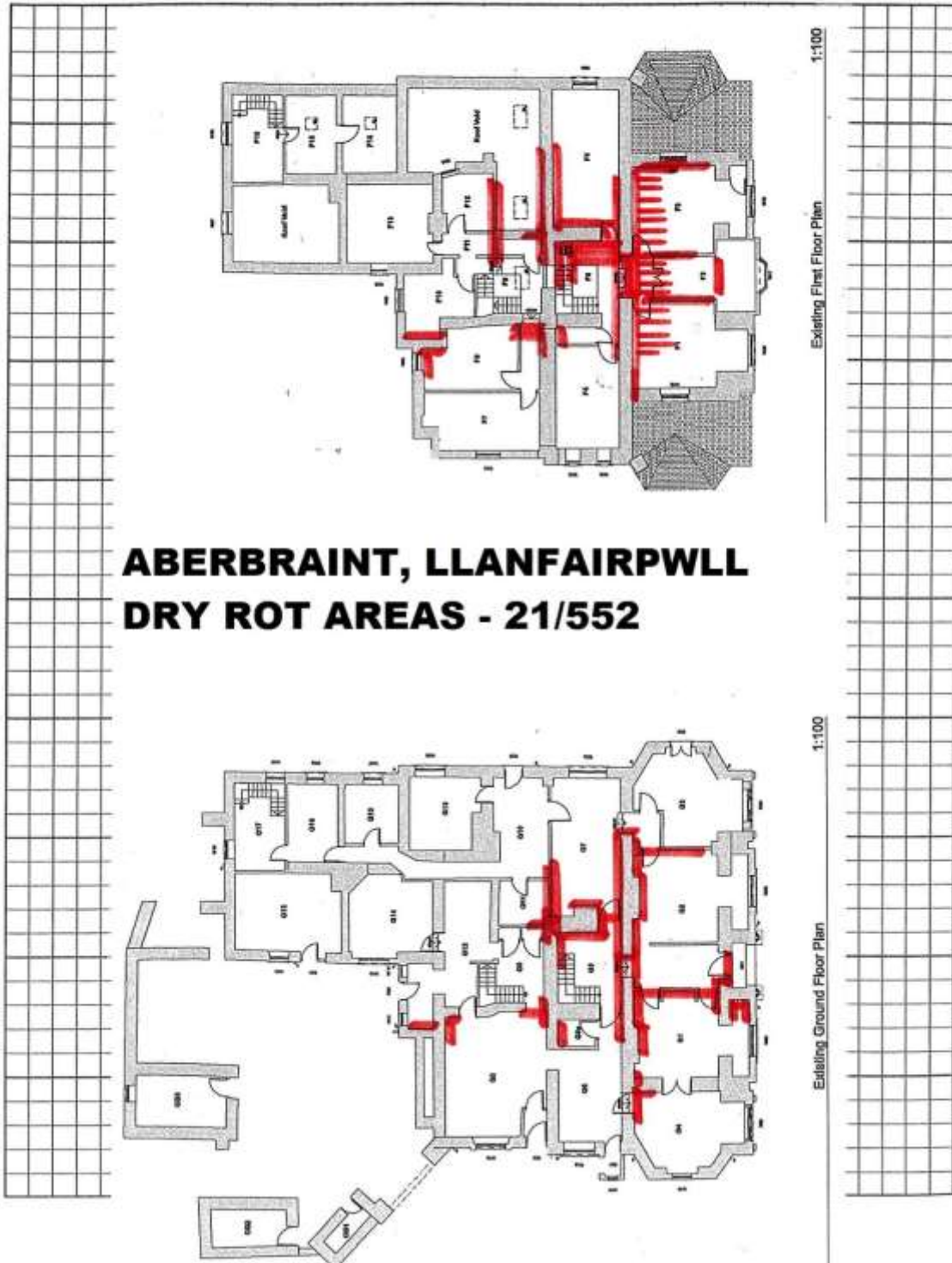
Page 4 of 4 - Aberbraint, Llanfairpwll, Ynys Môn, LL61 6PB

constructionline

CAERNARFON Tel: (01286) 672430 Fax: (01286) 672555



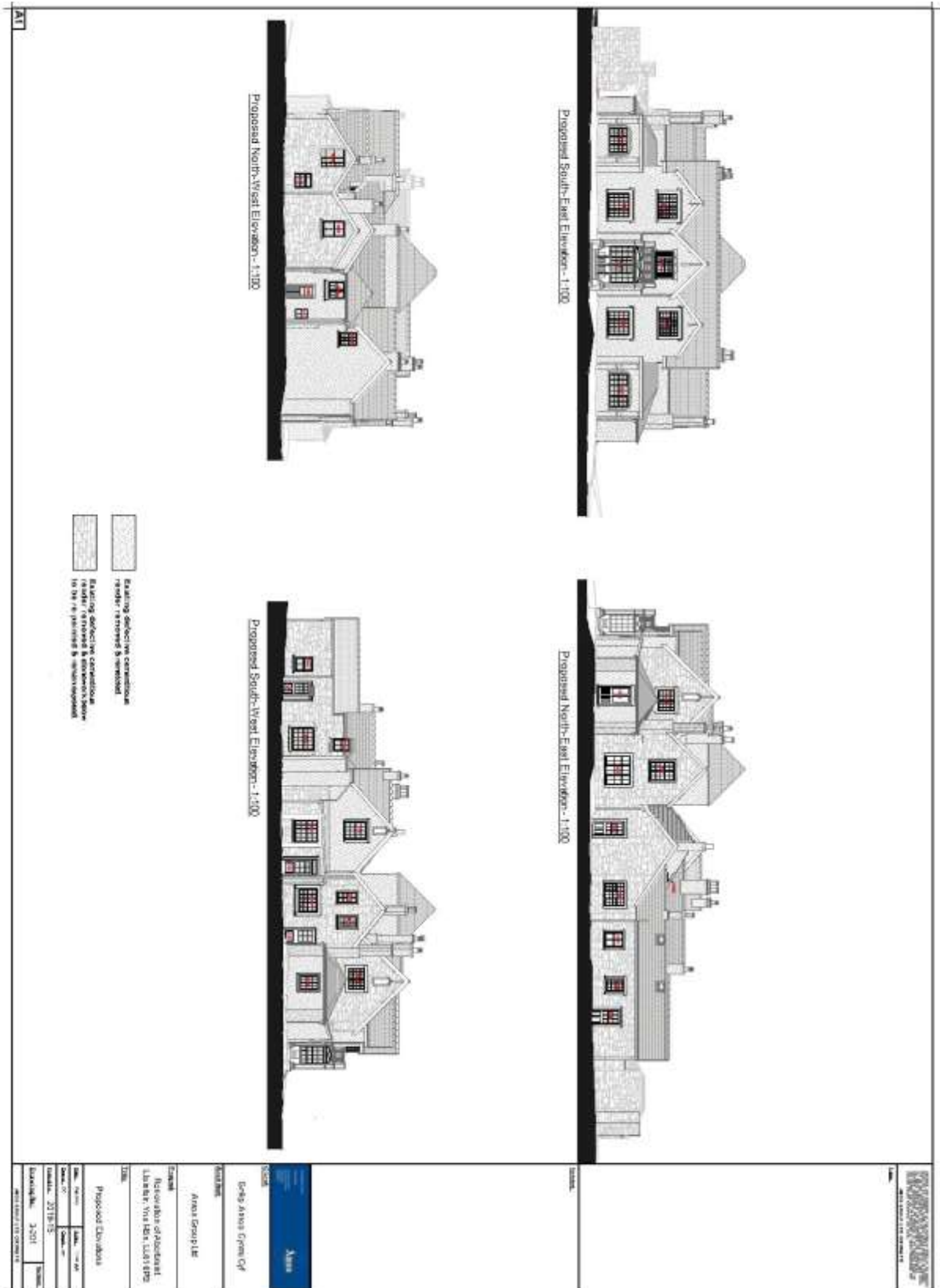
**KIMBERLEY GULF LTD.**  
Member of the  
BRITISH WOOD PRESERVING AND DAMP-PROOFING ASSOCIATION  
AND THE GUARANTEE PROTECTION TRUST LTD.



## Appendix E – Door & Window Schedule

External Door & Window Schedule				
ID	Unit	Room Ref	Approx Size (W x H)	Proposed Action
D01	A	Front	1271 x 2002	Repair, refurbish & reinstate
D02	A	G3	1077 x 2034	Repair, refurbish & reinstate
D03	B	G10	895 x 2002	Repair, refurbish & reinstate
D04	C	G18	1221 x 2055	Replicate original
D05	C	G12	912 x 2079	Replicate original
D06	B	G8	1041 x 2160	Repair, refurbish & reinstate
D07				To Omit
D08	C	G17	927 x 1955	New door required
D09	C	G14	2213 x 2343	New door required
W01	A	G4	1586 x 1181	Repair, refurbish & reinstate
W02	A	G1	1512 x 1348	Repair, refurbish & reinstate
W03	A	G2	1512 x 1348	Repair, refurbish & reinstate
W04	A	G3	2103 x 1213	Repair, refurbish & reinstate
W05	B	G7	1854 x 1544	Repair, refurbish & reinstate
W06	B	G13	1471 x 1239	Replicate original
W07	C	G15	915 x 1128	Repair, refurbish & reinstate
W08	C	G16	855 x 1141	Repair, refurbish & reinstate
W09				To Omit
W10	C	G17	927 x 1059	Replicate original
W11	C	G18	915 x 1067	Replicate original
W12				To Omit
W13				To Omit
W14	C	G12	638 x 822	Replicate original
W15	B	G8	1500 x 1553	Replicate original
W16	B	G5	1553 x 1264	Repair, refurbish & reinstate
W17				To Omit
W18	A	G4	953 x 1167	Replicate original
W19	A	F1	1350 x 1050	Replicate original
W20	A	F1	1550 x 1186	Replicate original
W21	A	F2	1597 x 1018	Repair, refurbish & reinstate
W22	A	F3	1550 x 1201	Replicate original
W23	A	F3	1331 x 1078	Replicate original
W24	B	F6	1203 x 1513	Replicate original
W25	C	F12	758 x 525	Replicate original
W26	C	F16	1132 x 1502	Replicate original
W27	C	F17	1060 x 1402	Replicate original
W28	C	F13	805 x 1050	Repair, refurbish & reinstate
W29	C	F10	1153 x 1098	Replicate original
W30	B	F8	860 x 1150	Repair, refurbish & reinstate
W31	B	F7	1164 x 1448	Repair, refurbish & reinstate
W32	A	F4	690 x 1167	Repair, refurbish & reinstate
W33	A	F4	690 x 1156	Replicate original
<b>Note:</b> Full assessment of units as to condition & viability for repair to made after removal. Replacement units are to replicate the originals on a like for like basis & incorporate any elements of the original that remain in good condition.				

## Appendix F – Elevations Indicating Proposed Areas of Exposed Stonework





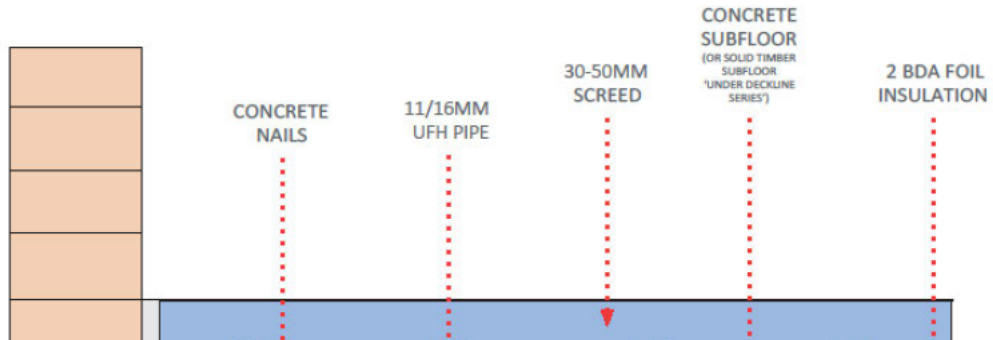




## Sections Through Floor Heating System

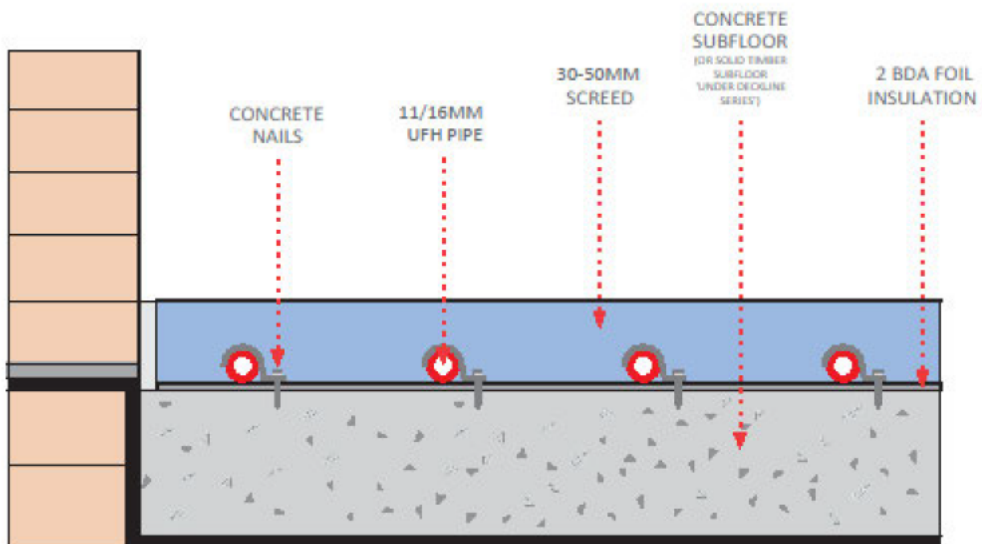
### SLIMLINE SERIES

30 - 50MM PROFILE INC INSULATION



### SLIMLINE SERIES

30 - 50MM PROFILE INC INSULATION



## Appendix H – Emergency Works Justification Statement



### Justification statement

Site address: Aberbrait, Llanfair PG

Job no: 2019.062

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#### Introduction

- 1.1 Aberbrait is a Grade II\* listed building which has not been maintained properly for many years and is therefore suffering from neglect. As a result of this, emergency works are required to make the property watertight as there are several areas where the roof is leaking and causing damage internally.
- 1.2 The roof structure and plan at Aberbrait is complex with many valleys and ridges. One of the areas in need of immediate repair is the central tower which houses the main staircase. There will be a full scheme of works and an application for listed building consent submitted to the Council in due course, but in order to prevent further damage it has been agreed with the Conservation Officer that emergency roof works can be carried out. This justification statement and the accompanying method statement are therefore being submitted so that the repairs to the tower roof can be carried out as a matter of urgency to stop further water ingress.
- 1.3 The tower has four separate roof slopes which meet at a short ridge. There are large heather coloured slates and a glazed 'rooflight' has been inserted on the southern roof slope. Modern interlocking ridge tiles have been put on all ridges on the tower at some stage.

#### Proposal

- 1.4 Part of the issue is the 'rooflight' which is clearly a later addition and is poorly detailed and fitted. It is therefore proposed to remove this and return the roof to its original form without a rooflight. At the same time, it is proposed to remove the modern interlocking ridge tiles that are in situ on the tower and to replace them with the traditional butt jointed ridge tiles that can be found elsewhere on the roof. These will be a match in terms of size, style, material and colour.

CAD.27

*Figure 1.1 Photographs of rooflight - external*



*Figure 1.2 Photographs of rooflight – internal*



*Figure 1.3 Photograph of staircase in tower*



- 1.5 By carrying out these works now as part of the emergency repairs, it will mean that only one set of roof works to the tower will be required and this will reduce the impact on the historic fabric.
- 1.6 The existing slates will be carefully removed, stored and replaced, with any damaged slates being replaced with an exact match.

### Conclusion

- 1.7 In summary, the roof on the tower is causing considerable water ingress and therefore emergency roof repairs are required to be carried out in order to prevent further damage to roof timbers and the interior of the house. In order to ensure that only one set of repairs to the roof are required as part of the overall restoration scheme, it is considered appropriate for the reasons set out above to remove the later poorly fitted and inappropriate rooflight and also to replace the ridge tiles with a more traditional ridge tile to match the rest of the house as part of the repair work.

**APPENDIX D**

Photographic Record



# Photographic Record

Aberbraint



Image SE (1) – South East Elevation



Image SE (2) – South East Elevation



Image SE (3) – South East Elevation - Porch



Image SE (4) – South East Elevation – Porch



Image SE (5) – South East Elevation – Porch



Image SE (6) – South West Elevation – Late 20<sup>th</sup> Century Showing Porch



Image SW (1) – South West Elevation



Image CY (1) – Rear Courtyard



Image NW (1) – North West Elevation



Image NE (1) – North East Elevation



Image HY 1 - Ground floor -Hallway



Image HY 2 - Ground floor -Hallway





Image HY 3 - Ground floor -Hallway



Image HY 4 - Ground floor -Hallway



Image HY 5 - Ground floor -Hallway



Image HY 6 - Ground floor -Hallway

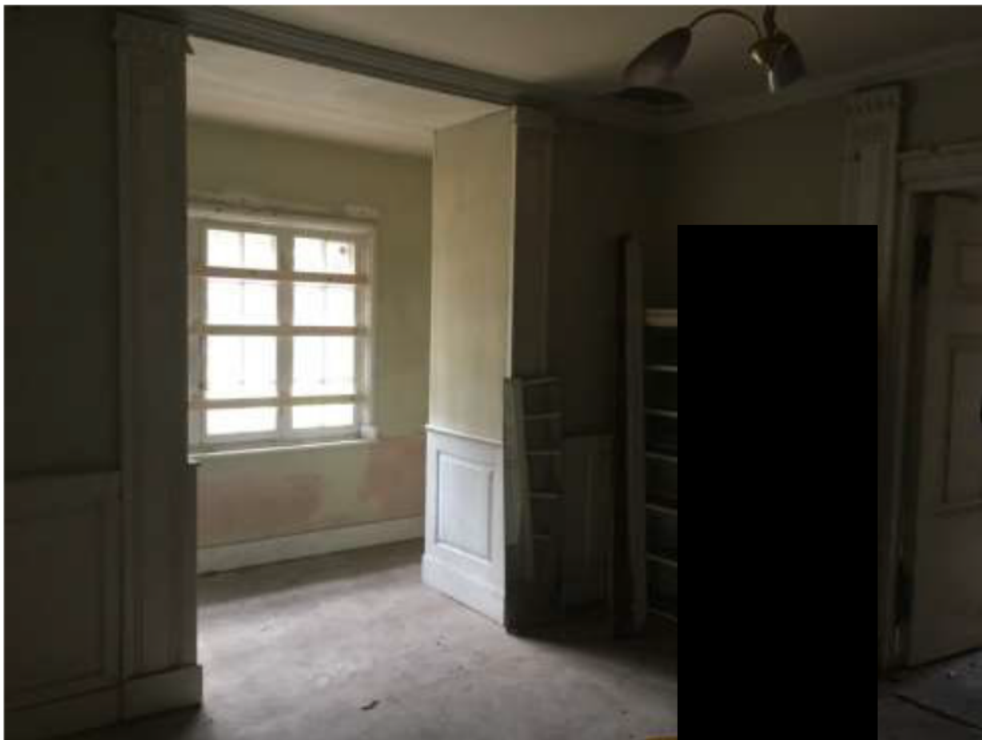


Image G1 (1) - Ground floor -Room G1



Image G1 (2) - Ground floor -Room G1



Image G1 (3) - Ground floor -Room G1



Image G1 (4) - Ground floor -Room G1



Image G1 (5) - Ground floor -Room G1



Image G1 (6) - Ground floor -Room G1



Image G1 (7) - Ground floor -Room G1



Image G2 (1) - Ground floor -Room G2



Image G2 (2) - Ground floor -Room G2





Image G2 (3) - Ground floor -Room G2



Image G2 (4) - Ground floor -Room G2



Image G2 (5) - Ground floor -Room G2



Image G2 (6) - Ground floor -Room G2



Image G3 (1) - Ground floor -Room G3



Image G3 (2) - Ground floor -Room G3



Image G3 (3) - Ground floor -Room G3



Image G3 (3) - Ground floor -Room G3





Image G4 (1) - Ground floor -Room G4



Image G4 (2) - Ground floor -Room G4



Image G4 (3) - Ground floor -Room G4



Image G5 (1) - Ground floor -Room G5



Image G5 (2) - Ground floor -Room G5



Image G5 (3) - Ground floor -Room G5



Image G5 (4) - Ground floor -Room G5



Image G5a (1) - Ground floor -Room G5a



Image G6 (1) - Ground floor -Room G6



Image G7 (1) - Ground floor -Room G7



Image G7 (2) - Ground floor -Room G7





Image G8 (1) - Ground floor -Room G8



Image G8 (2) - Ground floor -Room G8



Image G8 (3) - Ground floor -Room G8



Image G8 (4) - Ground floor -Room G8



Image G8 (4) - Ground floor -Room G8



Image G9 (1) - Ground floor -Room G9



Image G9 (2) - Ground floor -Room G9



Image G10 (1) - Ground floor -Room G10



Image G10 (2) - Ground floor -Room G10



Image G10 (3) - Ground floor -Room G10



Image G11 (1) - Ground floor -Room G11





Image G12 (1) - Ground floor -Room G12



Image G13 (1) - Ground floor -Room G13



Image G13 (2) - Ground floor -Room G13



Image G13 (3) - Ground floor -Room G13



Image G14 (1) - Ground floor -Room G14



Image G14 (2) - Ground floor -Room G14



Image G15 (1) - Ground floor -Room G15



Image G15 (2) - Ground floor -Room G15



Image G16 (1) - Ground floor -Room G16



Image F1 (1) – First floor -Room F1



Image F1 (2) – First floor -Room F1



Image F1 (3) – First floor -Room F1



Image F2 (1) – First floor -Room F2





Image F2 (2) – First floor -Room F2



Image F2 (3) – First floor -Room F2



Image F3 (1) – First floor -Room F3



Image F3 (2) – First floor -Room F3



Image F3 (3) – First floor -Room F3



Image F3 (4) – First floor -Room F3



Image F4 (1) – First floor -Room F4



Image F6 (1) – First floor -Room F6



Image F6 (2) – First floor -Room F6



Image F7 (1) – First floor -Room F7



Image F8 (1) – First floor -Room F8





Image F11 (1) – First floor -Room F11



Image F13 (1) – First floor -Room F13



Image F14 (1) – First floor -Room F14



Image F15 (1) – First floor -Room F15



Image F16 (1) – First floor -Room F16



Image F17 (1) – First floor -Room F17



Image F17 (2) – First floor -Room F17